

PROJECT:

# Makens Residence Permit Set

3327 Lucinda Street  
San Diego, CA 92106

PROJECT SCOPE:

DEMOLITION OF EXISTING STRUCTURE AND  
CONSTRUCTION OF NEW TWO STORY PLUS BASEMENT  
SINGLE FAMILY RESIDENCE WITH NEW REAR PATIO AND  
ROOF TERRACES.

PROJECT DATA:

ZONING: RS-1-7  
OCCUPANCY: R-3  
LOT AREA: 7,500 SF  
FAR: 0.57  
ALLOWABLE AREA: 4,275 SF

BUILDING AREAS	
DESCRIPTION	AREA (SF)
CONDITIONED SPACES	
BASEMENT AREA	911.6
FIRST FLOOR AREA	1552.6
SECOND FLOOR AREA	1758.5
TOTAL CONDITIONED FLOOR AREA	4222.7
UNCONDITIONED SPACES	
GARAGE AREA AREA	672.7
TOTAL BUILDING FLOOR AREA	4895.4

REFERENCED CODES:

CITY OF SAN DIEGO MUNICIPAL CODES  
2019 CALIFORNIA BUILDING CODE  
2019 CALIFORNIA RESIDENTIAL CODE  
2019 CALIFORNIA ELECTRICAL CODE  
2019 CALIFORNIA MECHANICAL CODE  
2019 CALIFORNIA PLUMBING CODE  
2019 CALIFORNIA ENERGY CODE  
2019 CALIFORNIA FIRE CODE  
2019 CALIFORNIA EXISTING BUILDING CODE  
2019 CALIFORNIA GREEN BUILDING STANDARDS CODES

COVERED OUTDOOR AREAS	
DESCRIPTION	AREA (SF)
FRONT PORCH	140.7
COVERED OUTDOOR LOUNGE	548.8
CANTILEVERED BALCONY @ 2ND FL	123
TOTAL	812.5

DEVELOPMENT SUMMARY	
OWNER'S NAME	JOHN MAKENS
OWNER'S ADDRESS	3327 LUCINDA STREET, SAN DIEGO, CA 92106
LEGAL DESCRIPTION	TR 958 BLK 1*LOT 5*ALLEY CLSD ADJ 8*
ASSESSOR PARCEL NUMBER	531-634-12-00
CONSTRUCTION TYPE	TYPE V (PROPOSED)
OVERLAY ZONE DESIGNATION(S)	ALUCOZ, CHLOZ, COZ, PIOZ
YEAR OF CONSTRUCTION FOR EXISTING STRUCTURE(S)	1937
NUMBER OF DWELLING UNITS	1
GEOLOGICAL HAZARD CATEGORY	12, 53
LANDSCAPE AREA SQUARE FOOTAGE	3580 SF

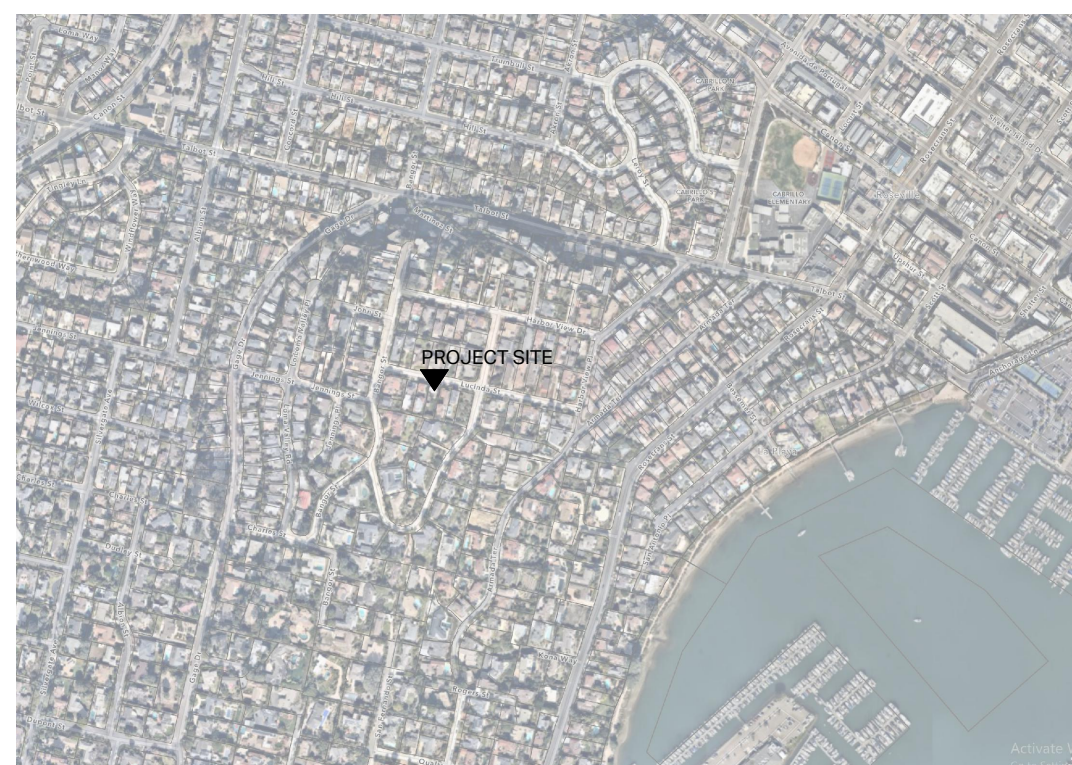
GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN CONFORMANCE WITH THE LATEST EDITION OF THE SAN DIEGO BUILDING CODES AND ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY APPLICABLE PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL AND SITEWORK DESIGN CONCEPTS, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS, AND THE TYPE OF STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK CAN BE BUILT OR DEMOLISHED AS SHOWN BEFORE PROCEEDING WITH THE WORK. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL CONTRACTORS SHALL EXAMINE THE DRAWINGS AND SPECIFICATIONS CAREFULLY, VISIT THE JOB SITE AND FULLY INFORM THEMSELVES TO ALL EXISTING CONDITIONS AND LIMITATIONS PRIOR TO SUBMITTING THEIR PROPOSAL. FAILURE TO VISIT THE SITE AND NOT BEING FAMILIAR WITH THE EXISTING CONDITIONS AND LIMITATIONS WILL IN NO WAY RELIEVE THE SUCCESSFUL BIDDER FROM FURNISHING ANY MATERIALS OR PERFORMING AND WORK THAT MAY BE REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS WITHOUT ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN ALL PROPER WORKMAN'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT THE DURATION OF THE PROJECT.
- SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE PRIOR APPROVAL OF THE ARCHITECT.

ABBREVIATIONS:

&	AND	HR	HOURS (FIRE RATING)
@	AT	HVAC	HEATING/VENTILATION/AIR CONDITION
#	NUMBER	INCL	INCLUDED / INCLUDING
C	CENTERLINE	INS	INSULATION
A/C	AIR CONDITIONING	INT	INTERIOR
ABV	ABOVE	JT	JOINT
ACOUST	ACOUSTICAL	LP	LOW POINT
ADA	AMERICANS WITH DISABILITIES ACT	LT	LIGHT FIXTURE
ADJ	ADJACENT	MAX	MAXIMUM
ADJ	ADJUSTABLE	MIN	MINIMUM
AFF	ABOVE FINISH FLOOR	MISC	MISCELLANEOUS
ALT	ALTERNATE	MTD	MOUNTED
ALUM	ALUMINUM	MTL	METAL
APPROX	APPROXIMATE	MUL	MULLION
ARCH	ARCHITECTURE	NA	NOT APPLICABLE
BLDG	BUILDING	NIC	NOT IN CONTRACT
BOT	BOTTOM	NO	NUMBER
B/	BOTTOM OF	NOM	NOMINAL
B.O.	BOTTOM OF	NTS	NOT TO SCALE
CIP	CAST IN PLACE	OC	ON CENTER
CJ	CONTROL JOINT	ORD	OVERFLOW ROOF DRAIN
CLG	CEILING	PERF	PERFORATED
COL	COLUMN	PLMG	PLUMBING
CONC	CONCRETE	PLYWD	PLYWOOD
COORD	COORDINATE	PTD	PAINTED
CMU	CONCRETE MASONRY UNIT	REQD	REQUIRED
DBL	DOUBLE	REV	REVISION / REVISED
DEMO	DEMOLITION	RO	ROUGH OPENING
DIA	DIAMETER	RM	ROOM
DIM	DIMENSION	RD	ROOF DRAIN
DN	DOWN	SC	SCONCE LIGHT
DWG	DRAWING	SF	SQUARE FEET
EA	EACH	SIM	SIMILAR
EL	ELEVATION	SL	STRIP LIGHT
ELEC	ELECTRICAL	STR	STRUCTURE
EJ	EXPANSION JOINT	SS	STAINLESS STEEL
EOS	EDGE OF SLAB	SSD	SEE STRUCTURAL DRAWINGS
EQ	EQUAL	STD	STANDARD
EXT	EXTERIOR	STL	STEEL
FD	FLOOR DRAIN	T&G	TONGUE AND GROOVE
FL	FLOOR LIGHT	T/	TOP OF
GA	GAUGE	T.O.	TOP OF
GALV	GALVANIZED	UON	UNLESS OTHERWISE NOTED
GL	GLASS	TYP	TYPICAL
GWB	GYPSPUM WALLBOARD	VIF	VERIFY IN FIELD
HB	HOSE BIB	W/	WITH
HM	HOLLOW METAL	W/O	WITHOUT
HP	HIGH POINT	WD	WOOD

VICINITY MAP:



SYMBOLS:

	WALL SECTION		OVERALL SECTION
	BUILDING ELEVATION		SWITCH
	INTERIOR ELEVATION		JAMB SWITCH
	SECTION DETAIL		3-WAY SWITCH
	ELEVATION/PLAN DETAIL		DIMMER SWITCH
	GRIDLINE		DUPLEX RECEPTACLE
	SPOT ELEVATION		GFI DUPLEX RECEPTACLE
	SPOT ELEVATION (PLAN)		USB RECEPTACLE
	ELEVATION DATUM		KEYPAD
	FINISH TAG		DEDICATED APPLIANCE OUTLET
	DOOR TAG		LINEAR STRIP LIGHT FIXTURE
	WINDOW TAG		SPEAKER
	ROOM TAG		WALL TYPE TAG
	HOSE BIB		KEYNOTE TAG
	COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR		

DRAWING LIST:

		BUILDING PERMIT SET 12/21/2022	BID PROGRESS SET 06/16/2023	BID PROGRESS SET 09/08/2023	BID PROGRESS SET 09/08/2023	BID PROGRESS SET 10/20/2023	BID PROGRESS SET 12/05/2023	PROGRESS SET 06/06/2024
GENERAL								
G000	INFO SHEET	X	X	X	X	X	X	X
G001	VICINITY MAPS				X	X	X	X
Z100	ZONING DIAGRAMS	X	X	X		X	X	X
ARCHITECTURAL								
D101	DEMOLITION PLAN					X	X	X
A011	SITE PLAN	X	X	X	X	X	X	X
A101	BASEMENT PLAN	X	X	X		X	X	X
A102	FIRST FLOOR PLAN	X	X	X		X	X	X
A103	SECOND FLOOR PLAN	X	X	X		X	X	X
A104	ROOF PLAN	X	X	X		X	X	X
A111	BASEMENT FINISH PLAN	X	X	X				
A112	FIRST FLOOR FINISH PLAN	X	X	X				
A113	SECOND FLOOR FINISH PLAN		X	X				
A114	ROOF FINISH PLAN		X	X				
A201	BASEMENT REFLECTED CEILING PLAN	X	X	X		X	X	
A202	FIRST FLOOR REFLECTED CEILING PLAN	X	X	X		X	X	
A203	SECOND FLOOR REFLECTED CEILING PLAN			X		X	X	
A301	BUILDING ELEVATIONS	X	X	X		X	X	X
A302	BUILDING ELEVATIONS	X	X	X		X	X	X
A303	BUILDING ELEVATIONS		X	X		X	X	X
A304	BUILDING ELEVATIONS		X	X		X	X	X
A311	BUILDING SECTIONS	X	X	X		X	X	X
A312	BUILDING SECTIONS	X	X	X		X	X	X
A313	YARD SECTIONS							X
A501	ENLARGED PLANS & ELEVATIONS			X		X		
A502	ENLARGED PLANS & ELEVATIONS			X		X		
A503	ENLARGED PLANS & ELEVATIONS			X		X		
A504	ENLARGED PLANS & ELEVATIONS			X		X		
A505	ENLARGED PLANS & ELEVATIONS			X		X		
A506	ENLARGED PLANS & ELEVATIONS			X		X		
A507	ENLARGED PLANS & ELEVATIONS			X		X		
A508	ENLARGED PLANS & ELEVATIONS			X		X		
A509	ENLARGED PLANS & ELEVATIONS			X		X		
A510	ENLARGED PLANS & ELEVATIONS			X		X		
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A512	ENLARGED PLANS & ELEVATIONS			X		X		
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A515	ENLARGED PLANS & ELEVATIONS			X		X		
A516	ENLARGED PLANS & ELEVATIONS			X		X		
A517	ENLARGED PLANS & ELEVATIONS			X		X		
A518	ENLARGED PLANS & ELEVATIONS			X		X		
A519	ENLARGED PLANS & ELEVATIONS			X		X		
A801	SCHEDULES			X		X		
A811	TYPICAL ASSEMBLY DETAILS			X		X		

MISCELLANEOUS NOTES:

- A PRE-CONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE IN RELATION TO THE FAA PART 77 NOTIFICATION SURFACE REQUIREMENTS. THE PRE-CONSTRUCTION INSPECTION MUST BE SCHEDULED AND CLEARED BY THE FIELD INSPECTOR BEFORE ANY SUBSEQUENT INSPECTIONS CAN BE SCHEDULED. CALL (858) 581-7111 TO SCHEDULE THE PRE-CONSTRUCTION INSPECTION. CONTACT THE INSPECTION SERVICES OFFICE AT (858) 492-5070, IF YOU HAVE ANY QUESTIONS PERTAINING TO THE PRE-CONSTRUCTION INSPECTION.
- ALL LUMINAIRES SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER.
- PER THE 2019 CBGSC SEC 4303.2 PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC) AND TABLE 1401.1 OF THE CPC.
- PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.2 GALLONS PER MINUTE (GPM).
- PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM).
- PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM).
- PROVIDE WATER CLOSETS WITH A MAXIMUM FLOW OF 1.28 GALLONS PER FLUSH (GPF).
- PER 2019 GREEN CODE MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM THE BATHROOMS SHALL COMPLY WITH THE FOLLOWING:
  - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING
  - UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.

PROJECT

## MAKENS RESIDENCE

3327 LUCINDA STREET  
SAN DIEGO, CA 92106

DESIGNER

### auver

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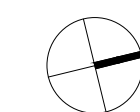
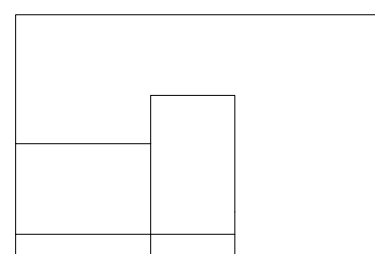
CHRISTIAN WHEELER  
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TEL: (619) 550-1700

SEAL

NOT FOR CONSTRUCTION

KEY PLAN



ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	12/21/2022	BUILDING PERMIT SET
2	06/15/2023	PROGRESS SET
3	09/08/2023	PROGRESS SET
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5	10/20/2023	PROGRESS SET
6	12/05/2023	PROGRESS SET
7	06/06/2024	PROGRESS SET

SHEET TITLE

## INFO SHEET

SCALE ISSUE DATE  
NTS 12/21/2022

SHEET NUMBER

# G000

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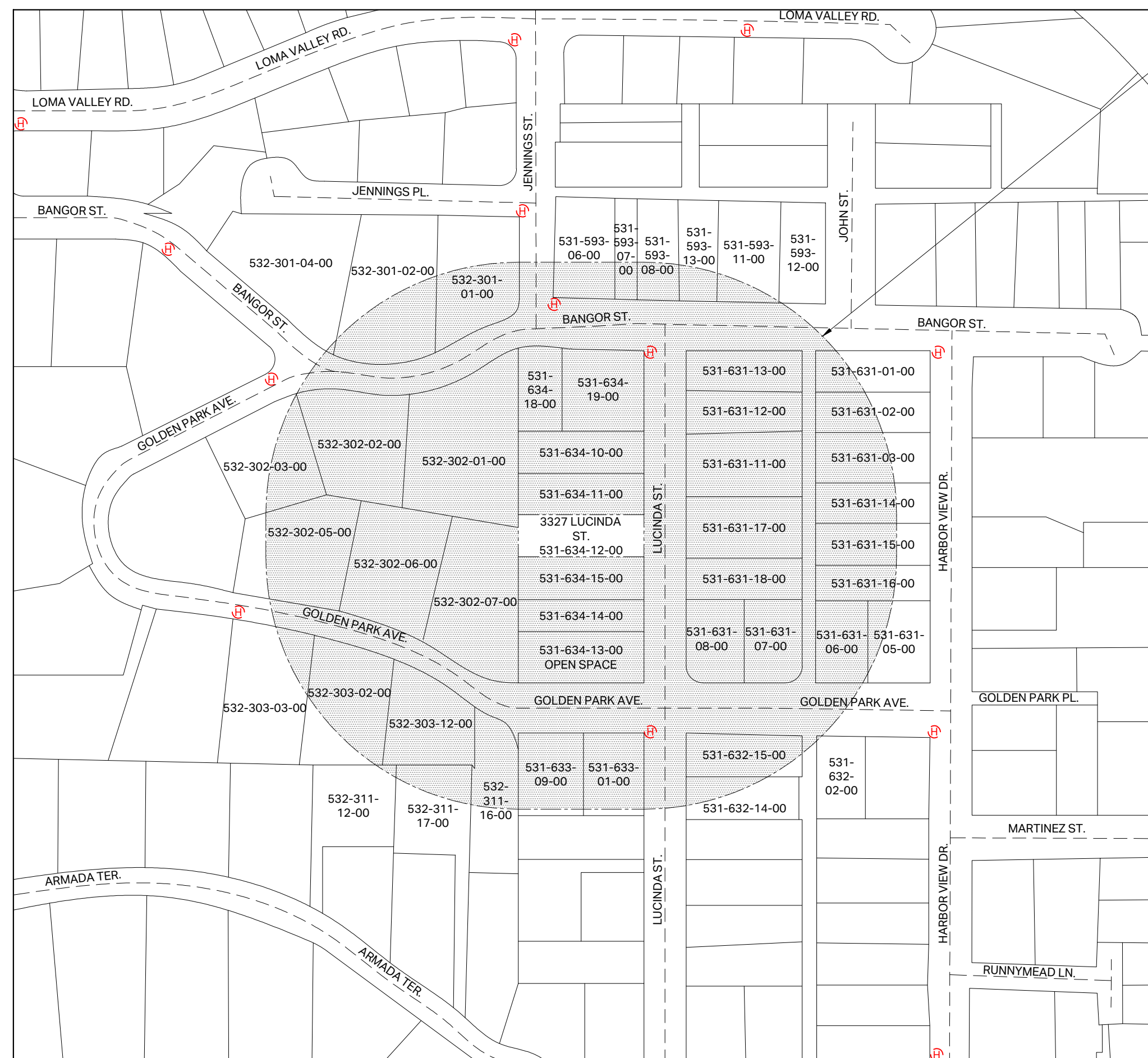
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BOUNDARY OF ALL AREAS 300' RADIUS OF SITE

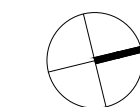
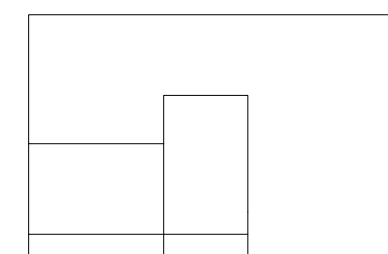
NOTES:  
 - THIS MAP IS PREPARED FOR THE USE OF THE CITY ASSESSOR FOR ASSESSMENT AND ILLUSTRATIVE PURPOSES ONLY. IT DOES NOT REPRESENT A SURVEY. NO LIABILITY IS ASSUMED AS TO THE SUFFICIENCY OR ACCURACY OF THE DATA DELINEATED HEREON.  
 - PROJECT IS NOT ADJACENT TO ANY TRANSIT STOPS.  
 - HYDRANTS WITHIN 600' OF PROJECT SITE ARE LOCATED WITH THE SYMBOL:

300' NOTICING RADIUS MAP  
SCALE: 1/128" = 1'-0"



PROJECT SITE:  
3327 LUCINDA ST.  
SAN DIEGO, CA 92106  
600' BOUNDARY LINE

NOT FOR CONSTRUCTION



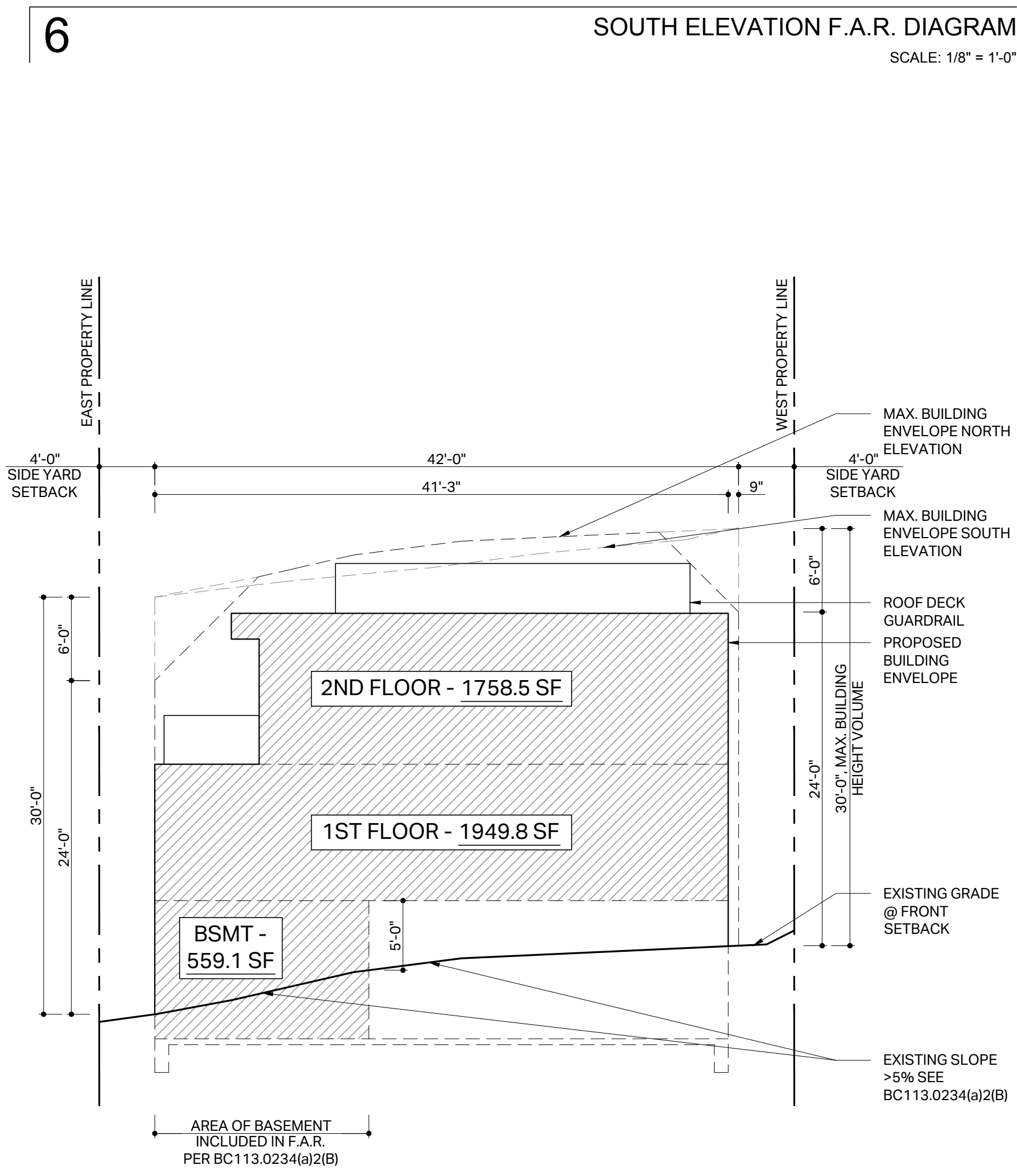
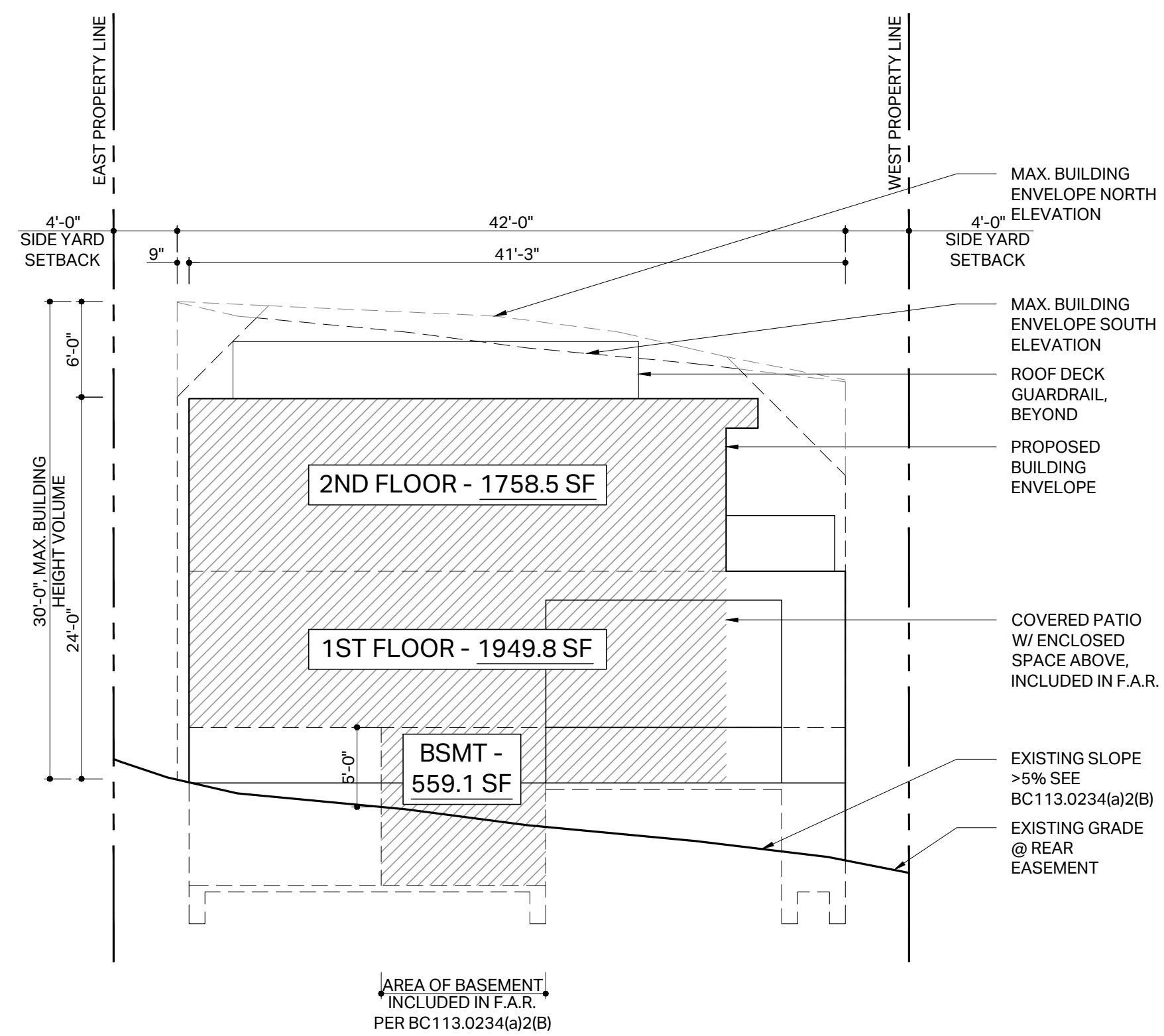
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## VICINITY MAPS

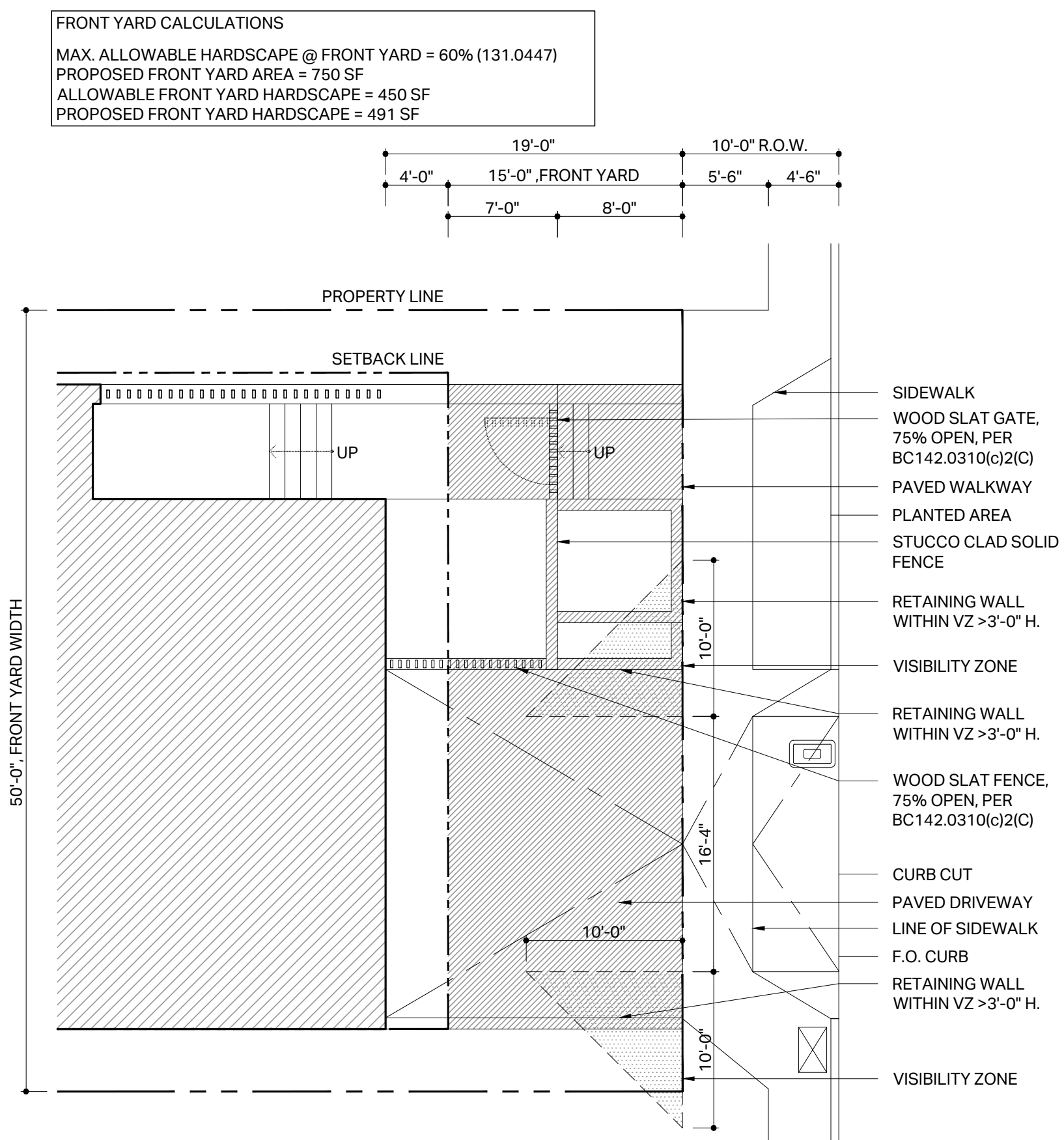
SCALE AS NOTED  
ISSUE DATE 12/21/2022

VICINITY MAP  
SCALE: N.T.S.

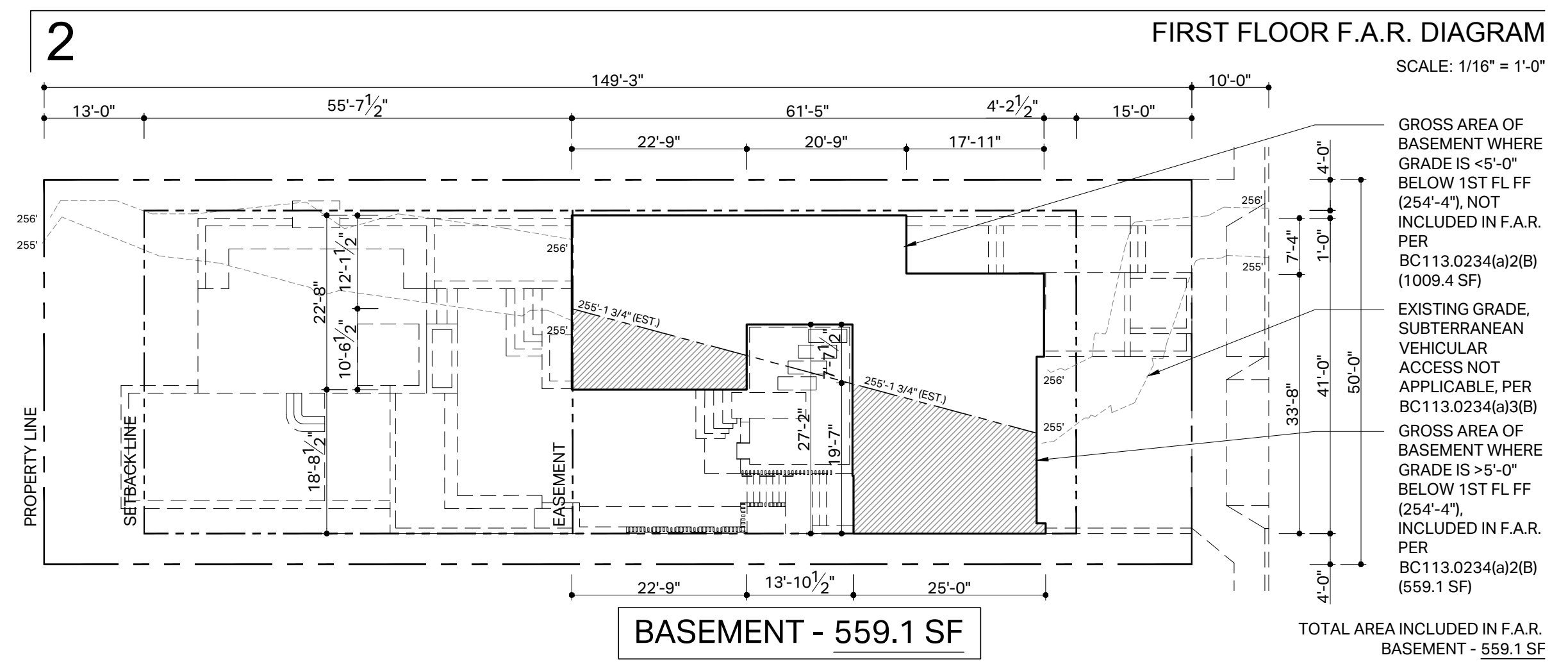
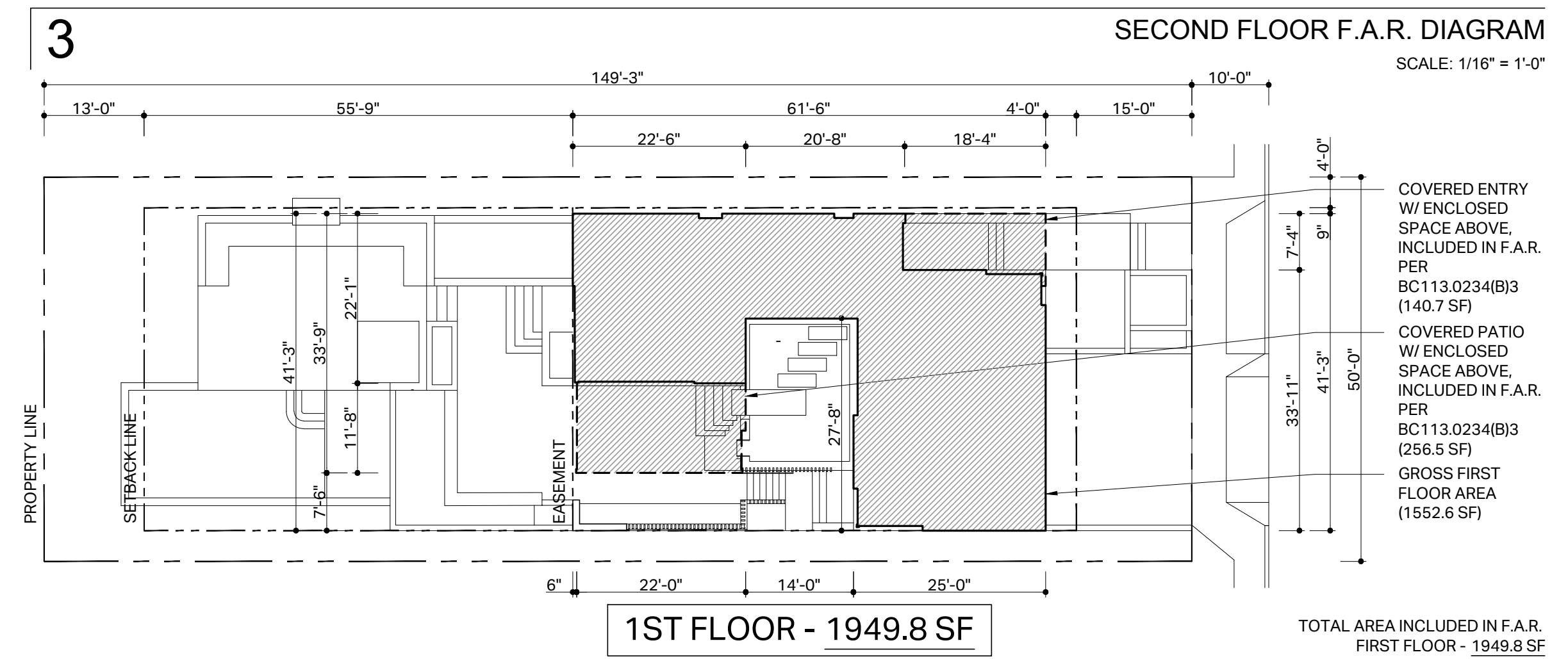
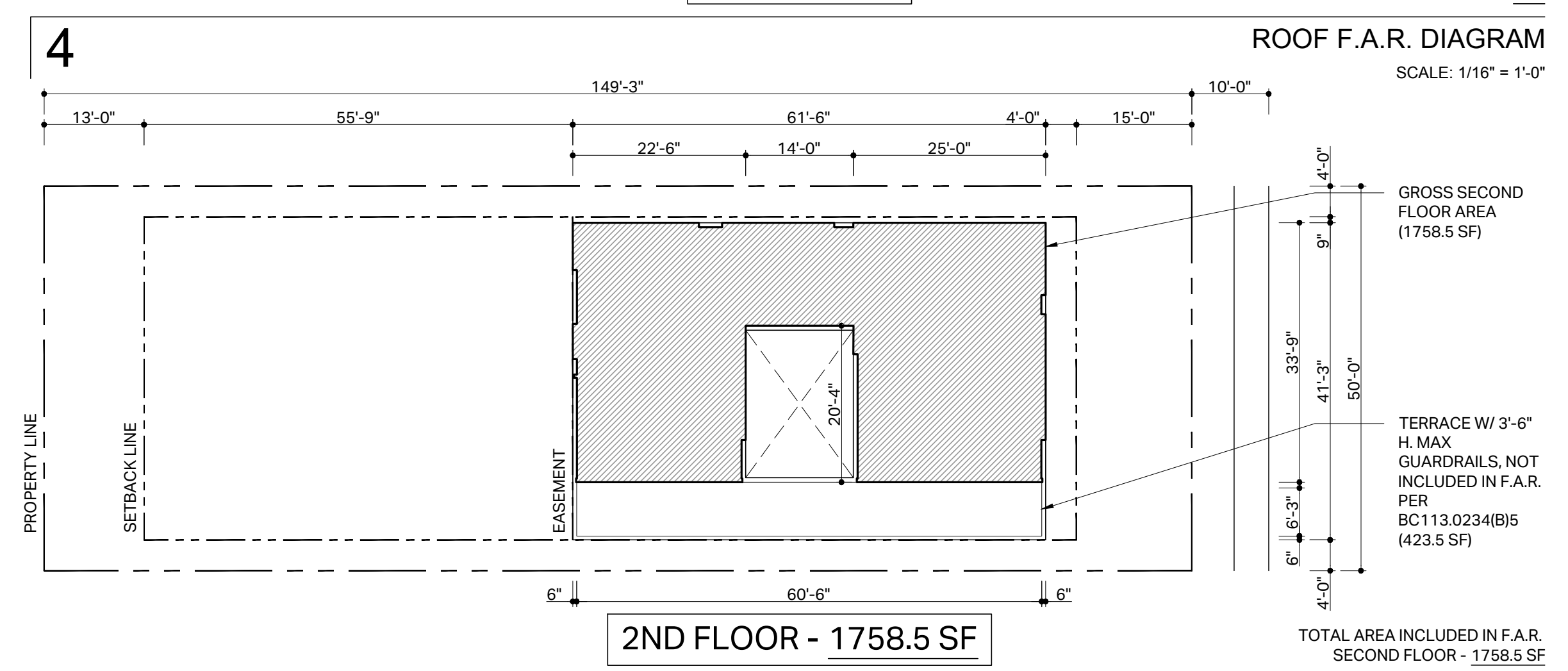
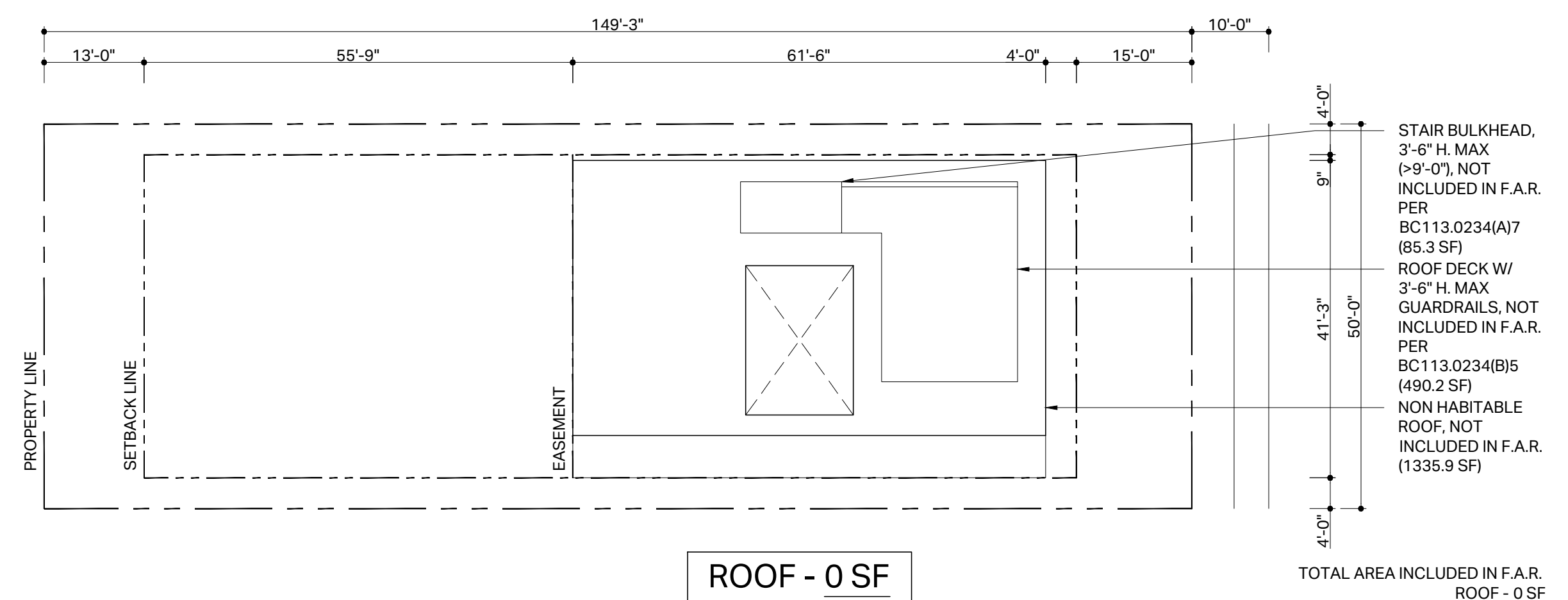
**F.A.R. CALCULATIONS:**  
 - F.A.R. = .57 @ 7500 SF LOT (131-04J)  
 - MAX ALLOWABLE FLOOR AREA = 4275.0 SF  
 - OVERALL CALCULATED FLOOR AREA = 4267.4 SF - IN COMPLIANCE



**5 NORTH ELEVATION F.A.R. DIAGRAM**  
 SCALE: 1/8" = 1'-0"



**7 FRONT YARD LANDSCAPE DIAGRAM**  
 SCALE: 1/8" = 1'-0"



**1 BASEMENT F.A.R. DIAGRAM**  
 SCALE: 1/16" = 1'-0"

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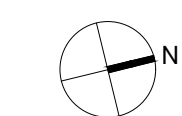
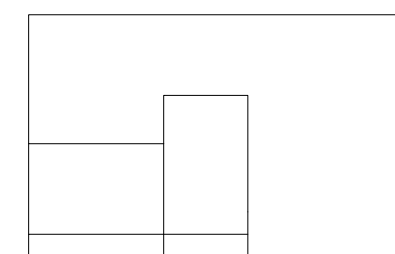
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SEAL

NOT FOR CONSTRUCTION

KEY PLAN



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SHEET TITLE

**Z100 ZONING DIAGRAM**

SCALE AS NOTED ISSUE DATE 12/21/2022

SHEET NUMBER

**Z100**

- SHEET NOTES:
- PROPERTY LINE
  - ZONING ENVELOPE
  - EXTERIOR WALL REMOVAL PER DEFINITION OF CITY OF SAN DIEGO
  - INTERIOR WALL REMOVAL & SITE DEMO
  - DOOR TO BE REMOVED

PROJECT

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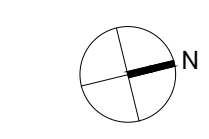
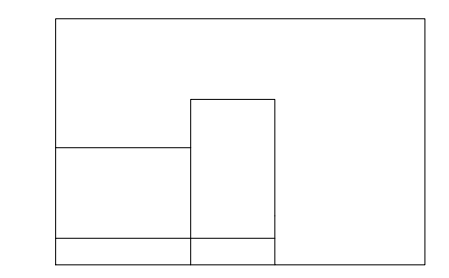
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4	10/04/2023	PROGRESS SET
5	10/20/2023	PROGRESS SET
6	12/05/2023	PROGRESS SET
7	06/06/2024	PROGRESS SET

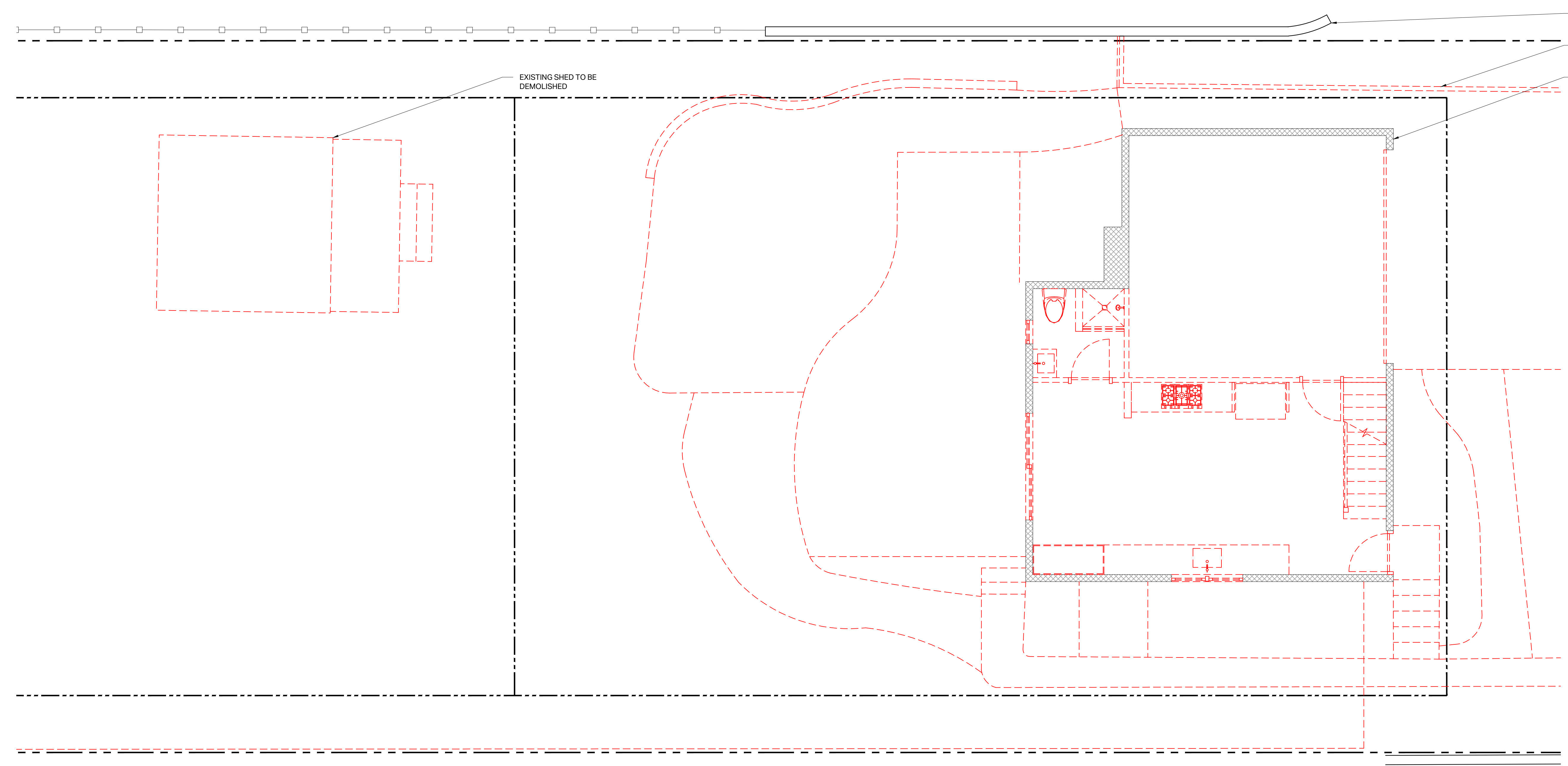
SHEET TITLE

**DEMOLITION PLAN**

SCALE: 1/4" = 1'-0"  
ISSUE DATE: 12/21/2022

SHEET NUMBER

**D101**



- NEIGHBORING FENCES & RETAINING WALLS TO REMAIN, NO WORK, TYP.
- EXISTING HARDSCAPE TO BE DEMOLISHED THROUGHOUT, TYP.
- EXISTING BUILDING TO BE DEMOLISHED

EXISTING SHED TO BE DEMOLISHED

DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"

**PERVIOUS & IMPERVIOUS AREAS (SF)**

EXISTING:	
IMPERVIOUS AREA:	2597.5 SF
PERVIOUS AREA:	4868.0 SF
TOTAL:	7462.5 SF
PROPOSED:	
IMPERVIOUS AREA:	4775.5 SF
PERVIOUS AREA:	2687.0 SF
TOTAL:	7462.5 SF

**DISTURBANCES AREA (SF): 6375.0 SF**

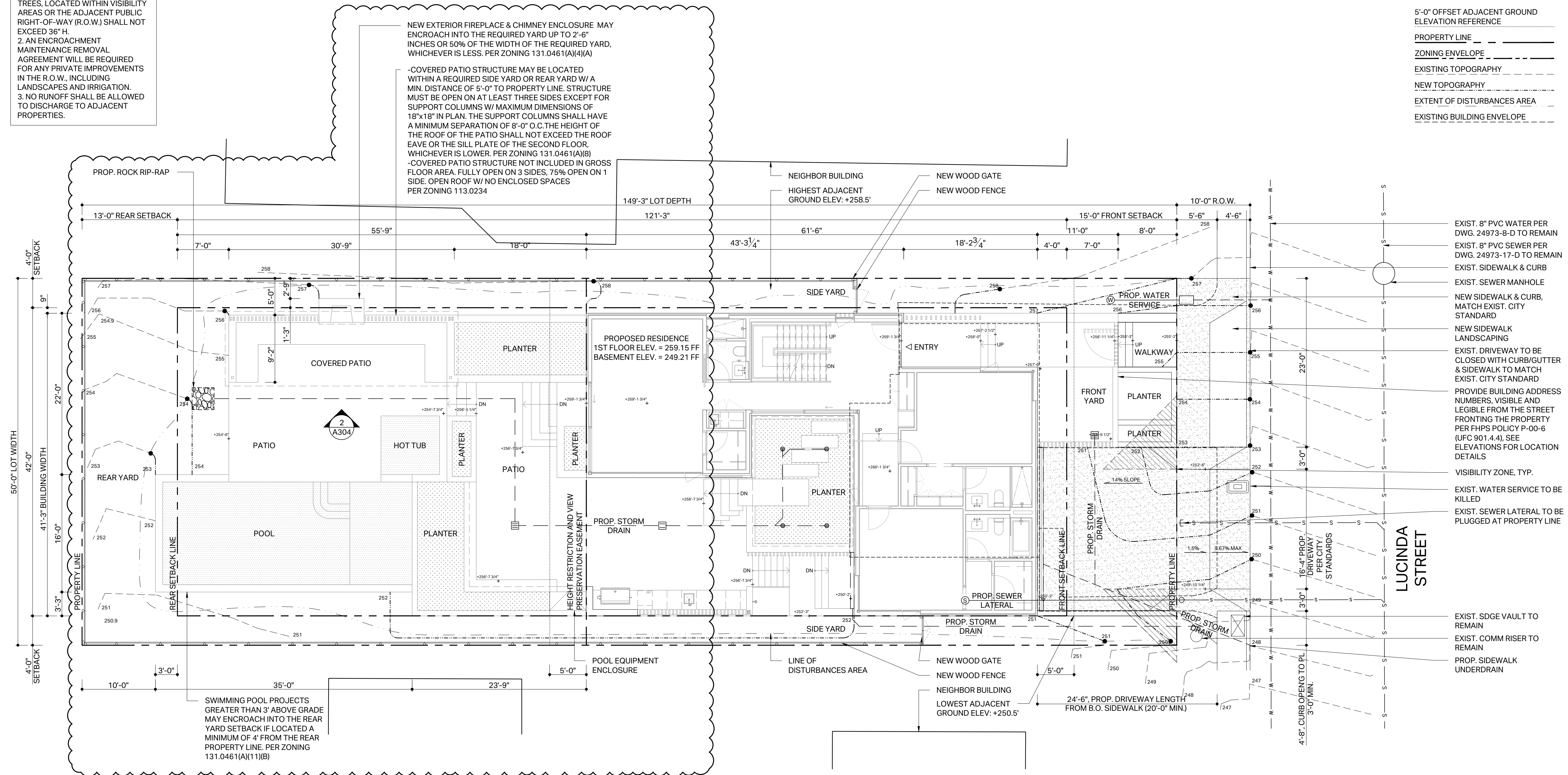
**GENERAL NOTES:**

1. PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY (R.O.W.) SHALL NOT EXCEED 36" H.
2. AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT WILL BE REQUIRED FOR ANY PRIVATE IMPROVEMENTS IN THE R.O.W., INCLUDING LANDSCAPES AND IRRIGATION.
3. NO RUNOFF SHALL BE ALLOWED TO DISCHARGE TO ADJACENT PROPERTIES.

NEW EXTERIOR FIREPLACE & CHIMNEY ENCLOSURE MAY ENCRACH INTO THE REQUIRED YARD UP TO 2'-6" INCHES OR 50% OF THE WIDTH OF THE REQUIRED YARD, WHICHEVER IS LESS. PER ZONING 131.0461(A)(4)(A)

-COVERED PATIO STRUCTURE MAY BE LOCATED WITHIN A REQUIRED SIDE YARD OR REAR YARD W/ A MIN. DISTANCE OF 5'-0" TO PROPERTY LINE. STRUCTURE MUST BE OPEN ON AT LEAST THREE SIDES EXCEPT FOR SUPPORT COLUMNS W/ MAXIMUM DIMENSIONS OF 18"x18" IN PLAN. THE SUPPORT COLUMNS SHALL HAVE A MINIMUM SEPARATION OF 8'-0" O.C. THE HEIGHT OF THE ROOF OF THE PATIO SHALL NOT EXCEED THE ROOF EAVE OR THE SILL PLATE OF THE SECOND FLOOR, WHICHEVER IS LOWER. PER ZONING 131.0461(A)(8)

-COVERED PATIO STRUCTURE NOT INCLUDED IN GROSS FLOOR AREA. FULLY OPEN ON 3 SIDES, 75% OPEN ON 1 SIDE. OPEN ROOF W/ NO ENCLOSED SPACES PER ZONING 113.0234



**SHEET NOTES:**

1. ALL STORM WATER RUNOFF FROM PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PERVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.
2. THE PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT OF WAY.
3. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE BASE OF MEASUREMENT (REFERENCE DATUM), (SDMC 132.0505)
4. THE PROJECT PROPOSES A BUILDING COMPOSED OF TWO STORIES PLUS BASEMENT.

5'-0" OFFSET ADJACENT GROUND ELEVATION REFERENCE

PROPERTY LINE

ZONING ENVELOPE

EXISTING TOPOGRAPHY

NEW TOPOGRAPHY

EXTENT OF DISTURBANCES AREA

EXISTING BUILDING ENVELOPE

EXIST. 8" PVC WATER PER DWG. 24973-8-D TO REMAIN

EXIST. 8" PVC SEWER PER DWG. 24973-17-D TO REMAIN

EXIST. SIDEWALK & CURB

EXIST. SEWER MANHOLE

NEW SIDEWALK & CURB, MATCH EXIST. CITY STANDARD

NEW SIDEWALK LANDSCAPING

EXIST. DRIVEWAY TO BE CLOSED WITH CURB/GUTTER & SIDEWALK TO MATCH EXIST. CITY STANDARD

PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4). SEE ELEVATIONS FOR LOCATION DETAILS

VISIBILITY ZONE, TYP.

EXIST. WATER SERVICE TO BE KILLED

EXIST. SEWER LATERAL TO BE PLUGGED AT PROPERTY LINE

EXIST. SDGE VAULT TO REMAIN

EXIST. COMM RISER TO REMAIN

PROP. SIDEWALK UNDERDRAIN

**PROJECT**

**MAKENS RESIDENCE**

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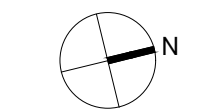
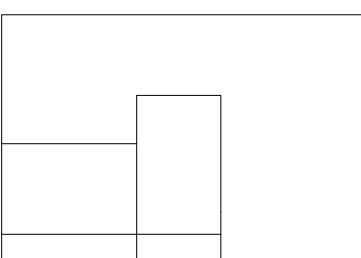
**CHRISTIAN WHEELER ENGINEERING**

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**SEAL**

NOT FOR CONSTRUCTION

**KEY PLAN**



**ISSUES / REVISIONS**

NO.	DATE	DESCRIPTION
1	12/21/2022	BUILDING PERMIT SET
2	06/15/2023	PROGRESS SET
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5	10/20/2023	PROGRESS SET
6	12/05/2023	PROGRESS SET
7	06/06/2024	PROGRESS SET

**SHEET TITLE**

**SITE PLAN**

SCALE: 3/16" = 1'-0"  
ISSUE DATE: 12/21/2022

**SHEET NUMBER**

**A011**

SHEET NOTES:

1. PROVIDE MIN. 1/2" GWB APPLIED TO THE GARAGE SIDE OF WALLS SEPARATING THE GARAGE FROM THE DWELLING AND ATTICS. [CRC TABLE R302.6]
2. PROVIDE MINIMUM 5/8" TYPE X GWB ON THE GARAGE SIDE OF FLOOR/CEILING ASSEMBLY SUPPORTING HABITABLE ROOMS ABOVE THE GARAGE. [CRC TABLE R302.6]
3. PROVIDE A MINIMUM 1/2" GWB INDIVIDUAL WRAP FOR STRUCTURAL MEMBERS (BEAMS AND POSTS) SUPPORTING FLOOR/CEILING ASSEMBLY. [CRC TABLE R302.6]
4. DRYER VENTS AND EXHAUST TERMINATIONS SHALL TERMINATE NO LESS THAN 3 FT. FROM PROPERTY LINE AND 3 FT. FROM OPENINGS INTO THE BUILDING.

PROJECT

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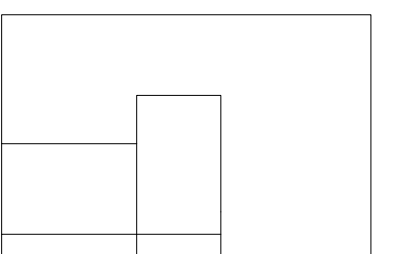
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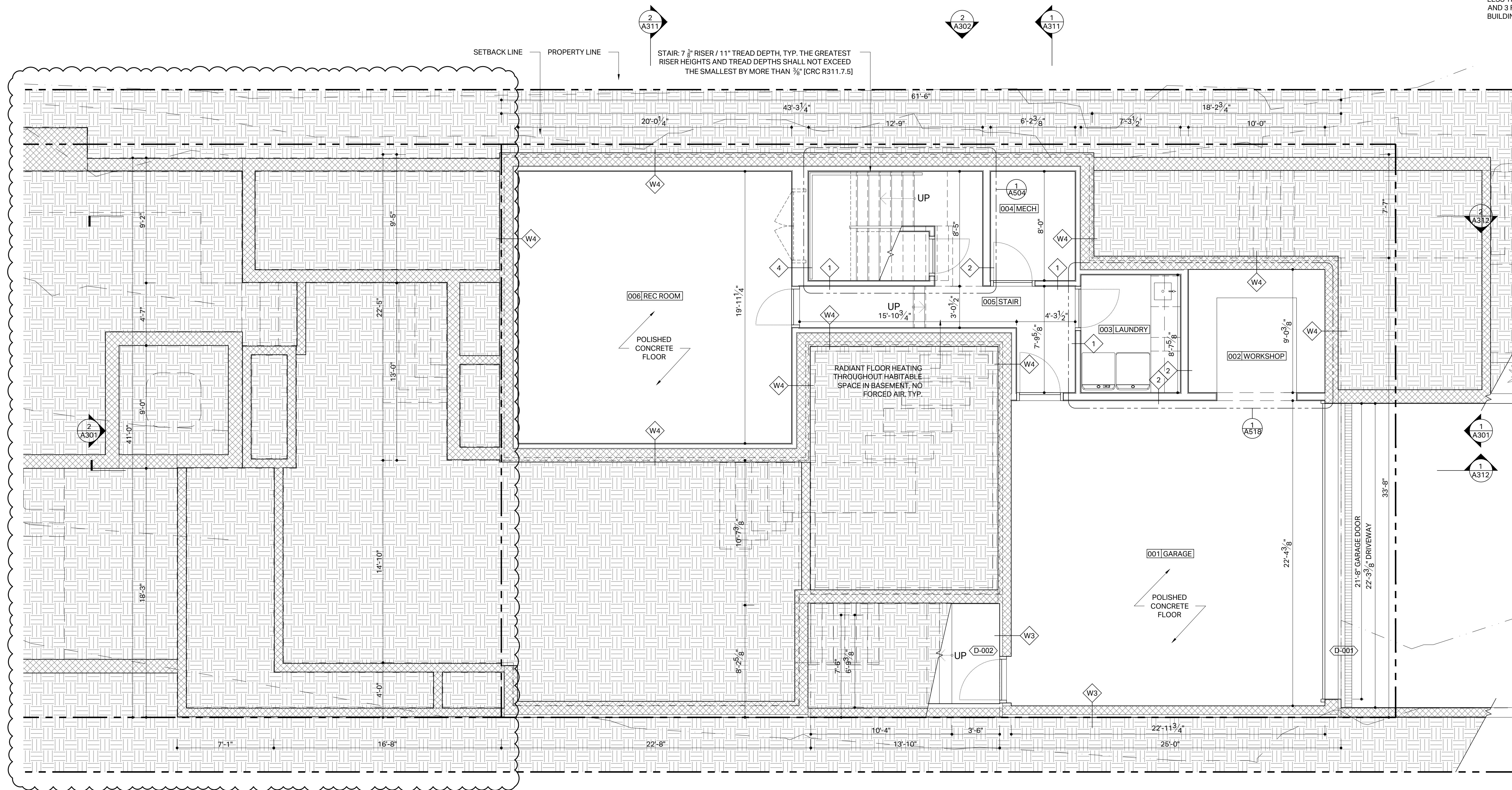
SHEET TITLE

BASEMENT PLAN

SCALE: 1/4" = 1'-0"  
ISSUE DATE: 12/21/2022

SHEET NUMBER

A101



SHEET NOTES:

1. PROVIDE A MINIMUM 1/2" GWB INDIVIDUAL WRAP FOR STRUCTURAL MEMBERS (BEAMS AND POSTS) SUPPORTING FLOOR/CEILING ASSEMBLY. (CRC TABLE R302.6)
2. ALL SHOWER COMPARTMENTS SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQ INCHES.
3. USE SAFETY GLAZING IN ALL GLASS GUARDRAILS PER CRC R308.4.4

PROJECT

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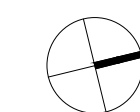
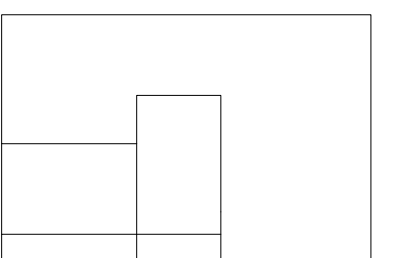
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KEY PLAN



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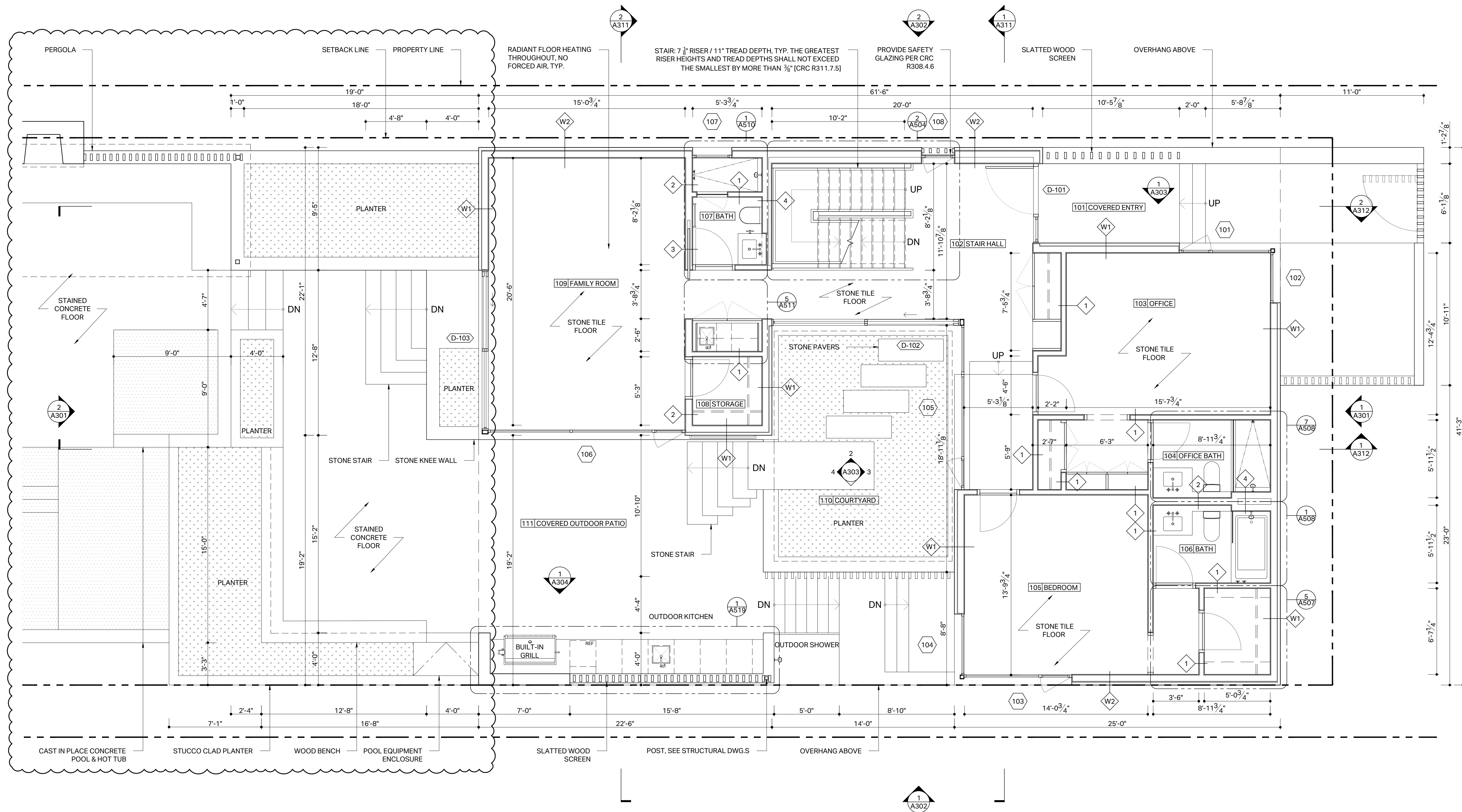
SHEET TITLE

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"  
ISSUE DATE: 12/21/2022

SHEET NUMBER

A102



SHEET NOTES:

1. PROVIDE A MINIMUM 1/2" GWB INDIVIDUAL WRAP FOR STRUCTURAL MEMBERS (BEAMS AND POSTS) SUPPORTING FLOOR/CEILING ASSEMBLY. (CRC TABLE R302.6)
2. ALL SHOWER COMPARTMENTS SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQ INCHES.
3. USE SAFETY GLAZING IN ALL GLASS GUARDRAILS PER CRC R308.4.4
4. PITCH ROOFING MIN. 1/4" PER FOOT U.N.O.
5. PROVIDE UL-CLASSIFIED CLASS 'A' MULTI-PLY MODIFIED BITUMEN ROOFING SYSTEM: GAF RUBEROID 20 SMOOTH MEMBRANE TO MEET ASTM D6163 (OR APPROVED EQUAL)

PROJECT

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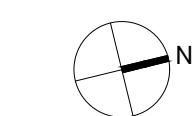
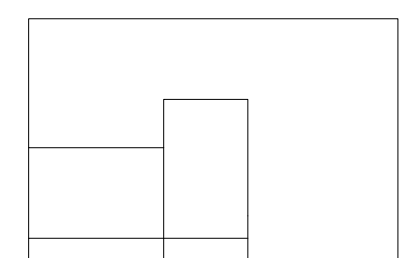
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KEY PLAN



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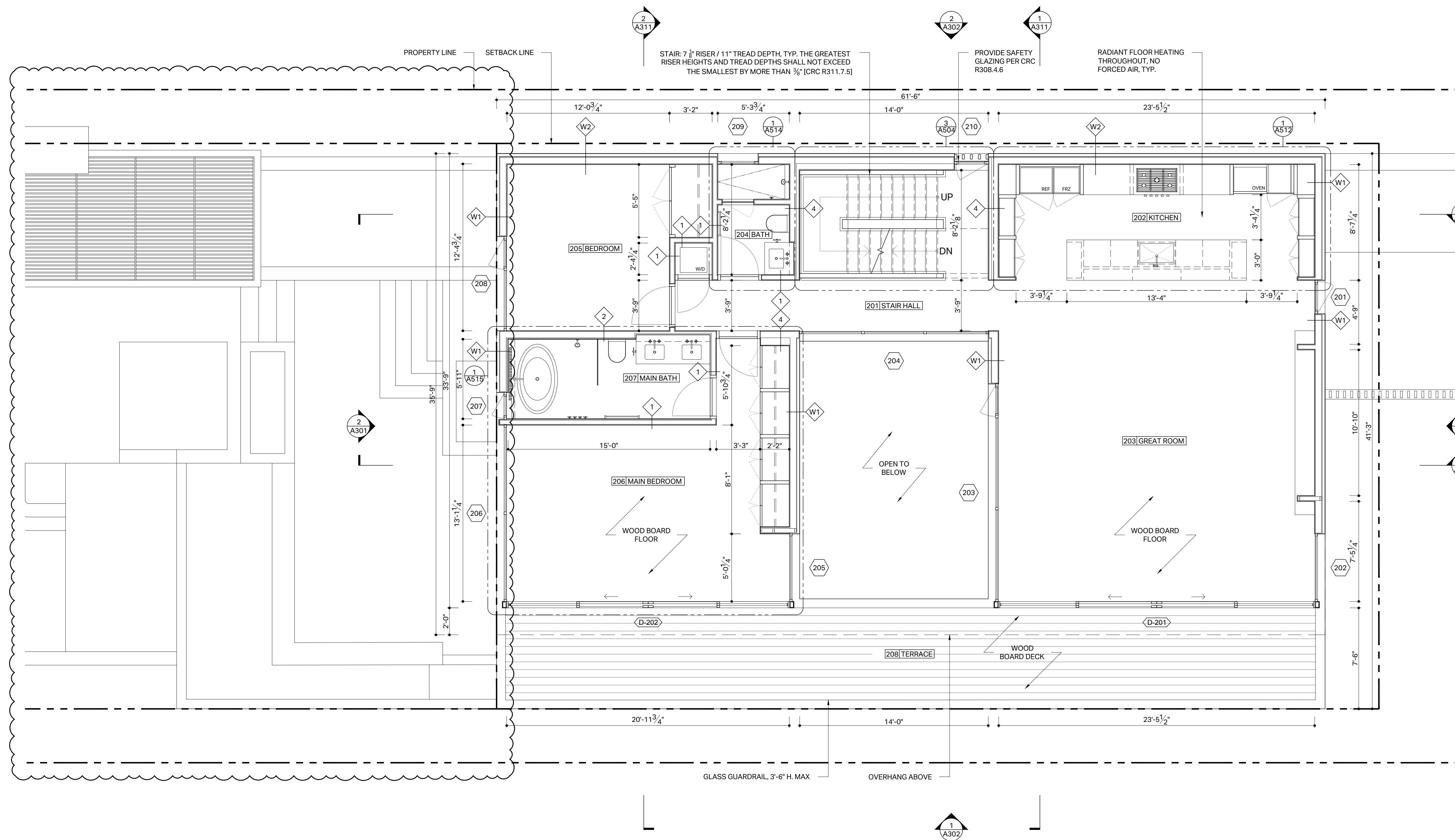
SHEET TITLE

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"  
ISSUE DATE: 12/21/2022

SHEET NUMBER

A103



SHEET NOTES:

1. USE SAFETY GLAZING IN ALL GLASS GUARDRAILS PER CRC R308.4.4
2. PITCH ROOFING MIN. 1/2" PER FOOT U.N.O.
3. PROVIDE UL-CLASSIFIED CLASS 'A' MULTI-PLY MODIFIED BITUMEN ROOFING SYSTEM: GAF RUBEROID 20 SMOOTH MEMBRANE TO MEET ASTM D6163 (OR APPROVED EQUAL)

PROJECT

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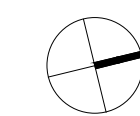
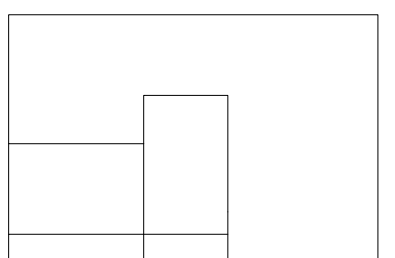
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SEAL

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KEY PLAN



ISSUES / REVISIONS

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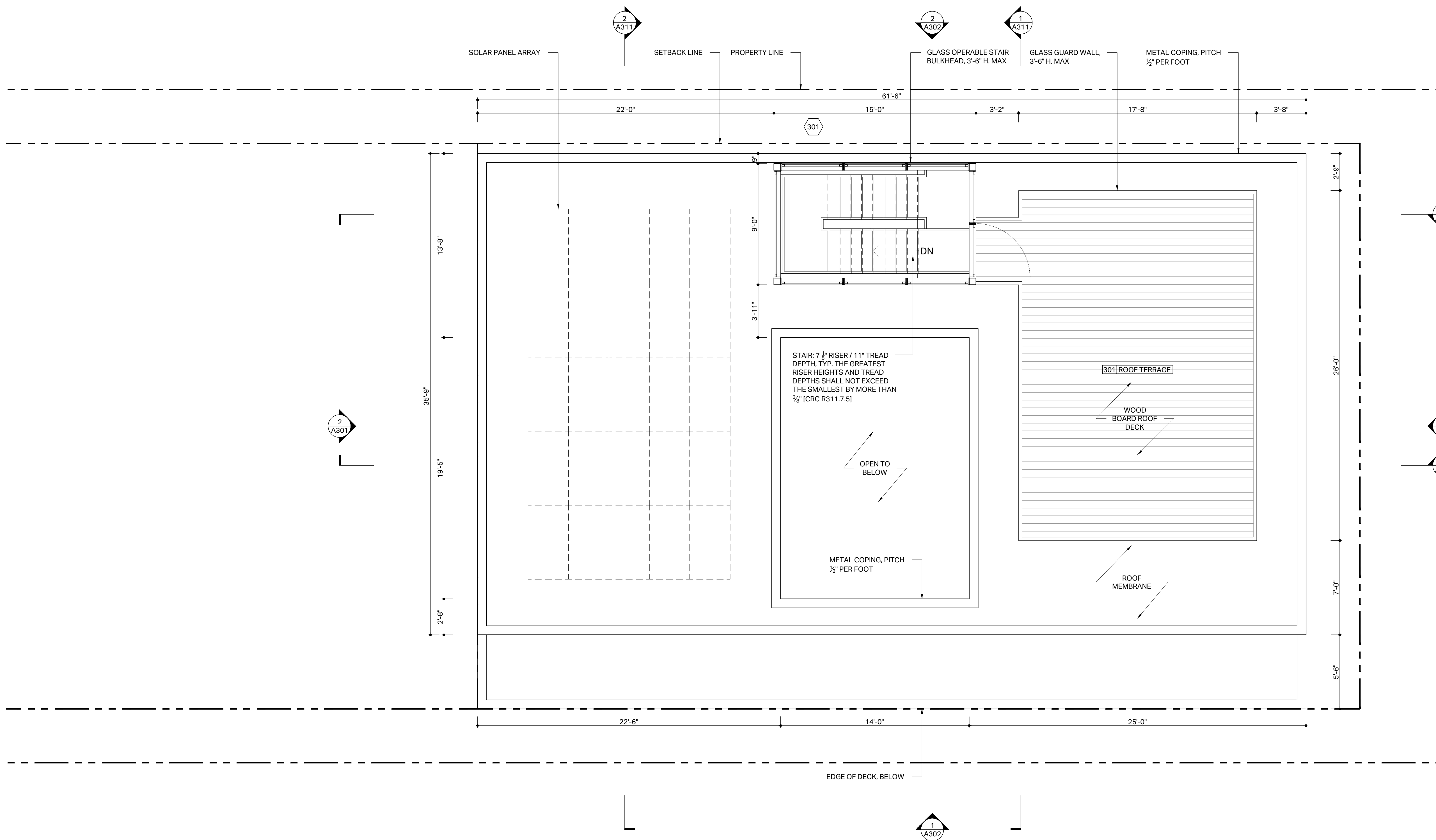
SHEET TITLE

ROOF PLAN

SCALE: 1/4" = 1'-0"  
ISSUE DATE: 12/21/2022

SHEET NUMBER

A104



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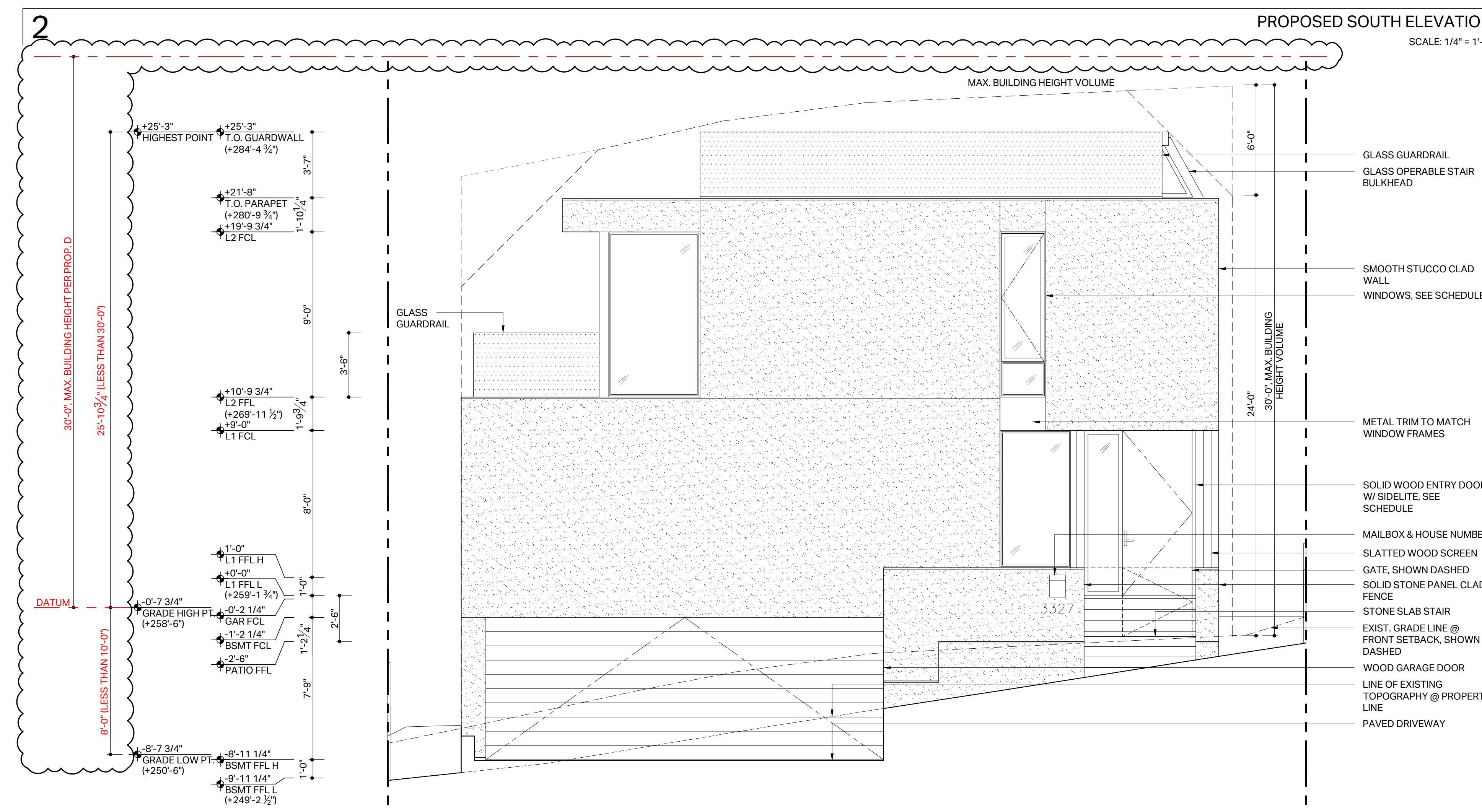
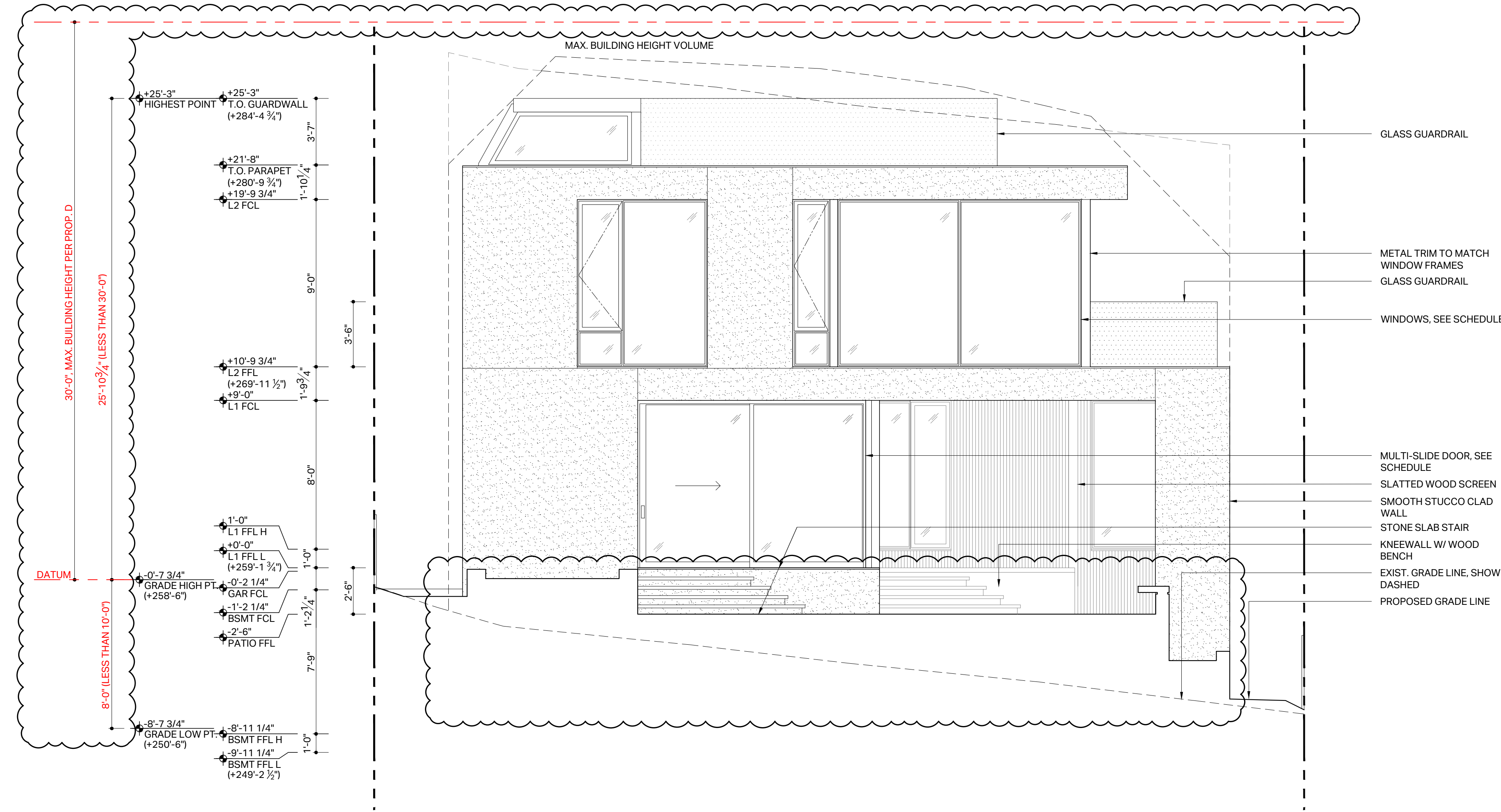
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**PROPOSED NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

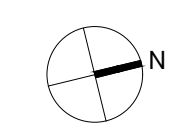
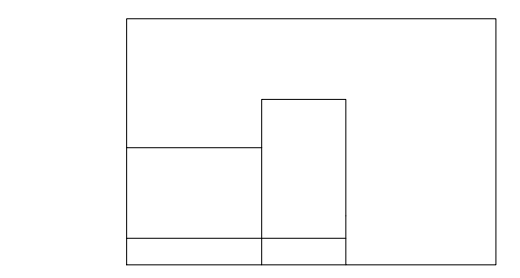
1

NOTE:  
PER TECHNICAL BULLETIN BLDG-5-4 (PROP D) MAXIMUM PERMITTED BUILDING HEIGHT IS 30'-0".  
THE BUILDING HEIGHT IS DETERMINED BY MEASURING THE VERTICAL DISTANCE ABOVE THE REFERENCE DATUM TO THE HIGHEST POINT OF THE STRUCTURE, INCLUDING ANY PROJECTIONS.  
THE REFERENCE DATUM IS DETERMINED BY MEASURING THE HIGHEST AND LOWEST EXISTING "ADJACENT GROUND ELEVATIONS" WITHIN 5'-0" OF THE EXTERIOR WALL OF THE BUILDING, OR THE PROPERTY LINE IF LESS THAN 5'-0". IF THE DIFFERENCE IN ELEVATION BETWEEN THE TWO POINTS IS 10'-0" OR LESS, THE REFERENCE DATUM IS ESTABLISHED AT THE HIGHEST "ADJACENT GROUND ELEVATION"

SEAL

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KEY PLAN



ISSUES / REVISIONS

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SHEET TITLE

**BUILDING ELEVATIONS**

SCALE

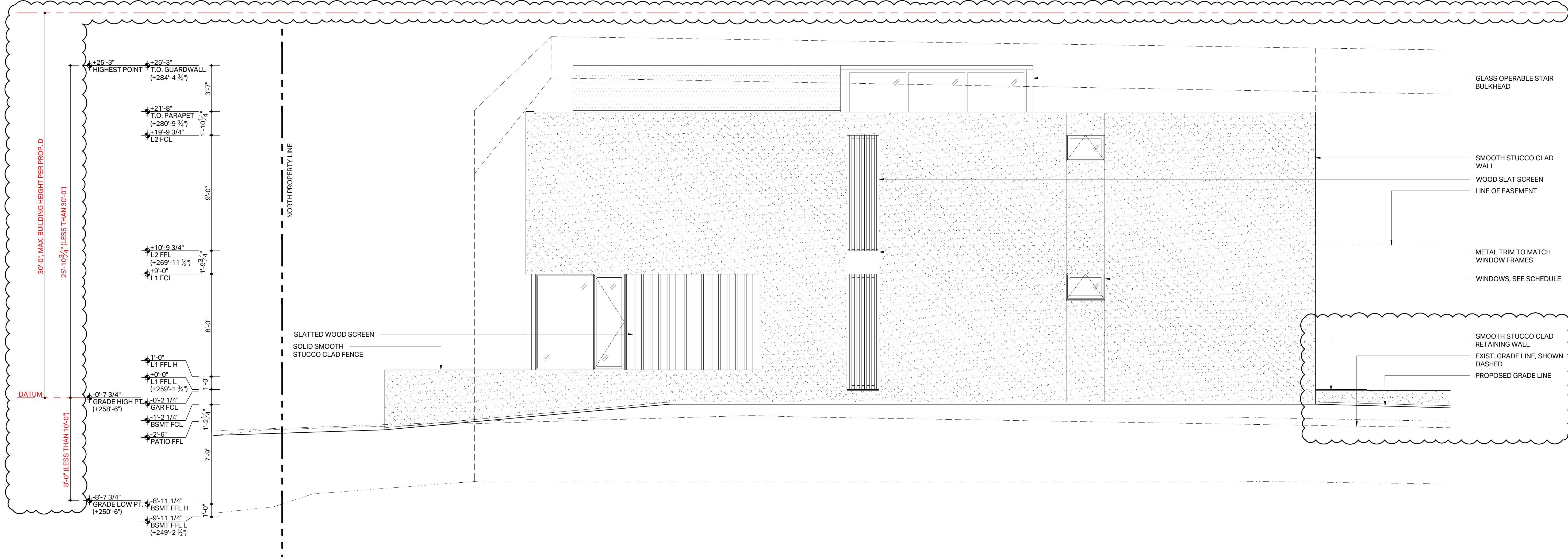
1/4" = 1'-0"

ISSUE DATE

12/21/2022

SHEET NUMBER

**A301**



PROJECT

**MAKENS RESIDENCE**

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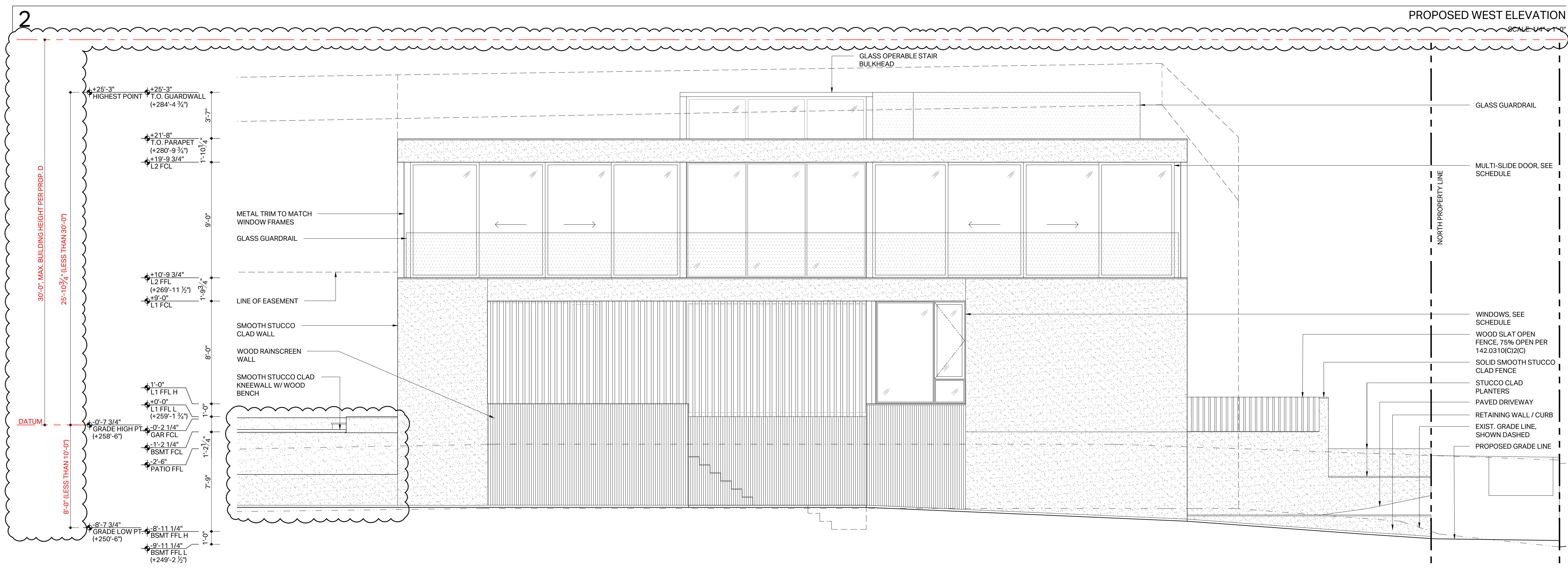
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TEL: (619) 550-1700



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

SEAL

NOT FOR CONSTRUCTION

KEY PLAN

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	12/21/2022	BUILDING PERMIT SET
2	06/15/2023	PROGRESS SET
3	09/08/2023	PROGRESS SET
4	10/04/2023	PROGRESS SET
5	10/20/2023	PROGRESS SET
6	12/05/2023	PROGRESS SET
7	06/06/2024	PROGRESS SET

WINDOWS, SEE SCHEDULE

WOOD SLAT OPEN FENCE, 75% OPEN PER 142.0310(C)(2)(C)

SOLID SMOOTH STUCCO CLAD FENCE

STUCCO CLAD PLANTERS

PAVED DRIVEWAY

RETAINING WALL / CURB

EXIST. GRADE LINE, SHOWN DASHED

PROPOSED GRADE LINE

SHEET TITLE

**BUILDING ELEVATIONS**

SCALE: 1/4" = 1'-0"

ISSUE DATE: 12/21/2022

SHEET NUMBER

1

PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

**A302**

# MAKENS RESIDENCE

3327 LUCINDA STREET  
SAN DIEGO, CA 92106

DESIGNER

## auver

AUVER ARCHITECTURE D.P.C.  
115 WEST 29TH ST. SUITE 900  
NEW YORK, NEW YORK 10001  
TEL: +1 (212) 380-8206

STRUCTURAL ENGINEER

**BANAN INC.**  
4682 IOWA ST., SUITE 208  
SAN DIEGO, CA 92116  
TEL: (619) 756-2939  
REZA.BANAN2@GMAIL.COM

EXPEDITOR

**PERMITS BY MIKE**  
TEL: (619) 417-1400  
PERMITSBYMIKE@ATT.NET

TITLE: 24 ENERGY COMPLIANCE CONSULTANT

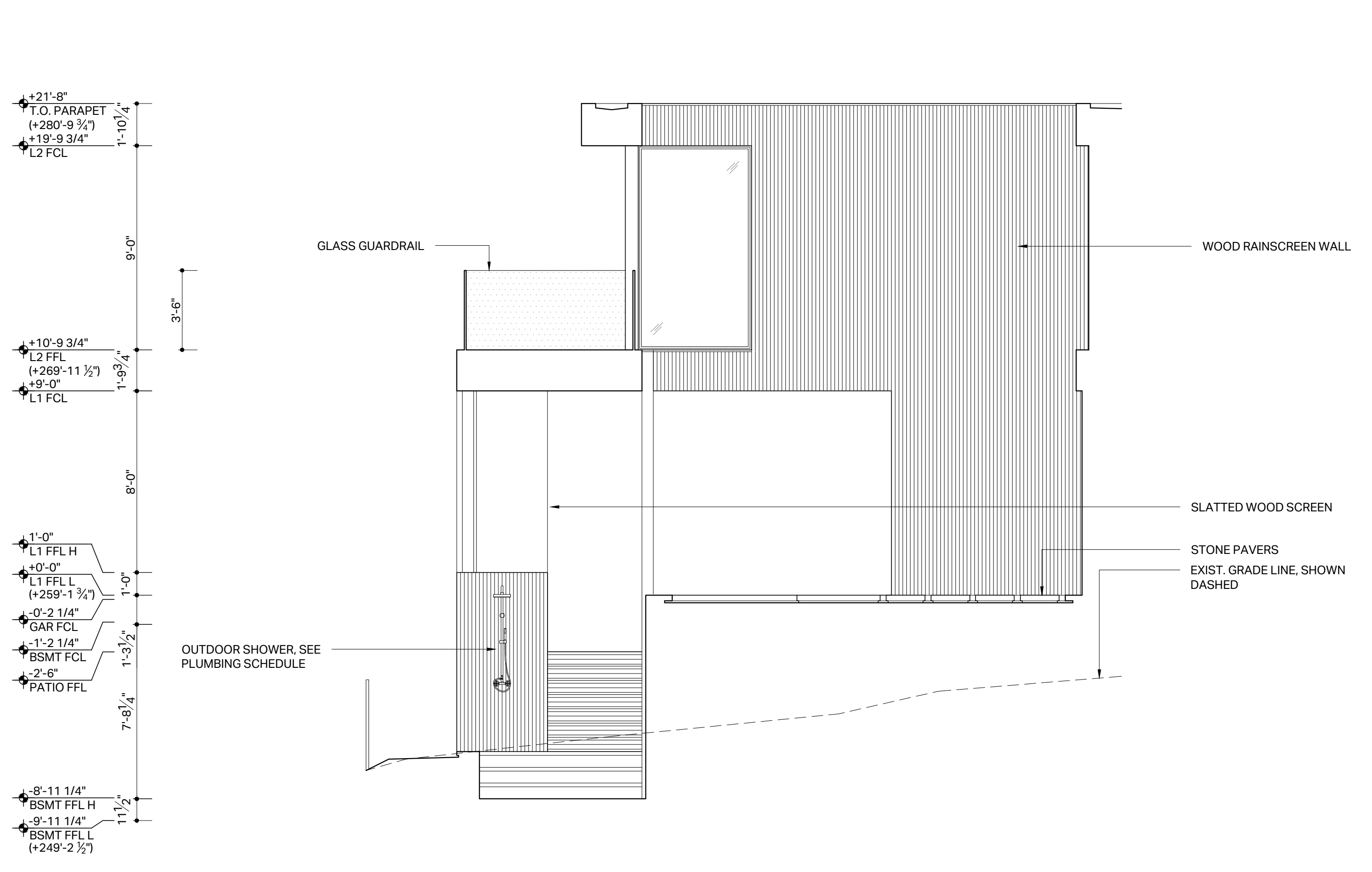
**BUILDERS' ENERGY SERVICES, INC.**  
460 WEST EDMUNDSON AVENUE  
MORGAN HILL, CA 95037  
TEL: (408) 202-9075  
HEATHER@BUILDERS-ENERGY.NET

CIVIL ENGINEER

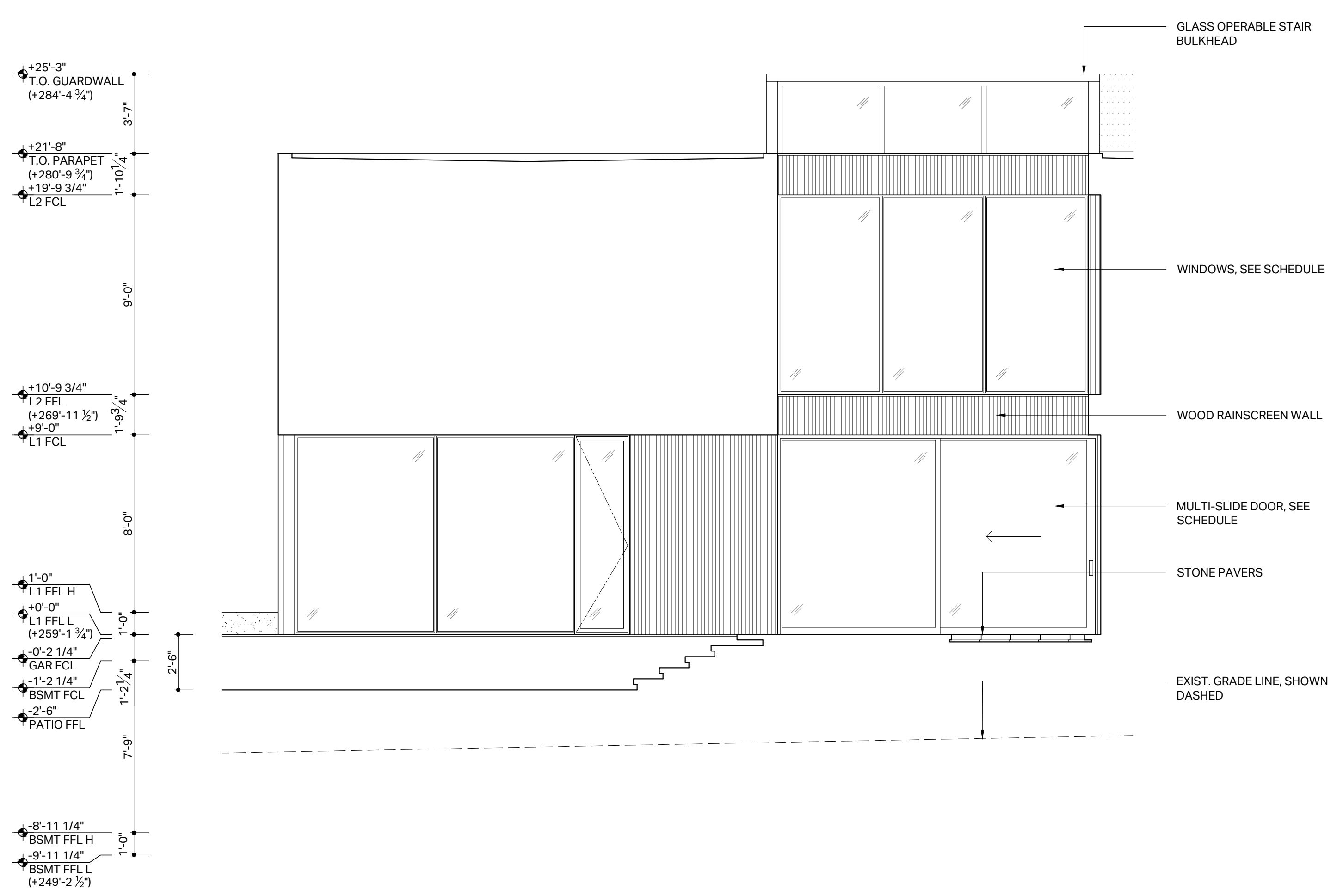
**SNIPES-DYE ASSOCIATES**  
8348 CENTER DRIVE, SUITE G  
LA MESA, CA 91942  
TEL: (619) 697-9234

GEOTECHNICAL ENGINEER

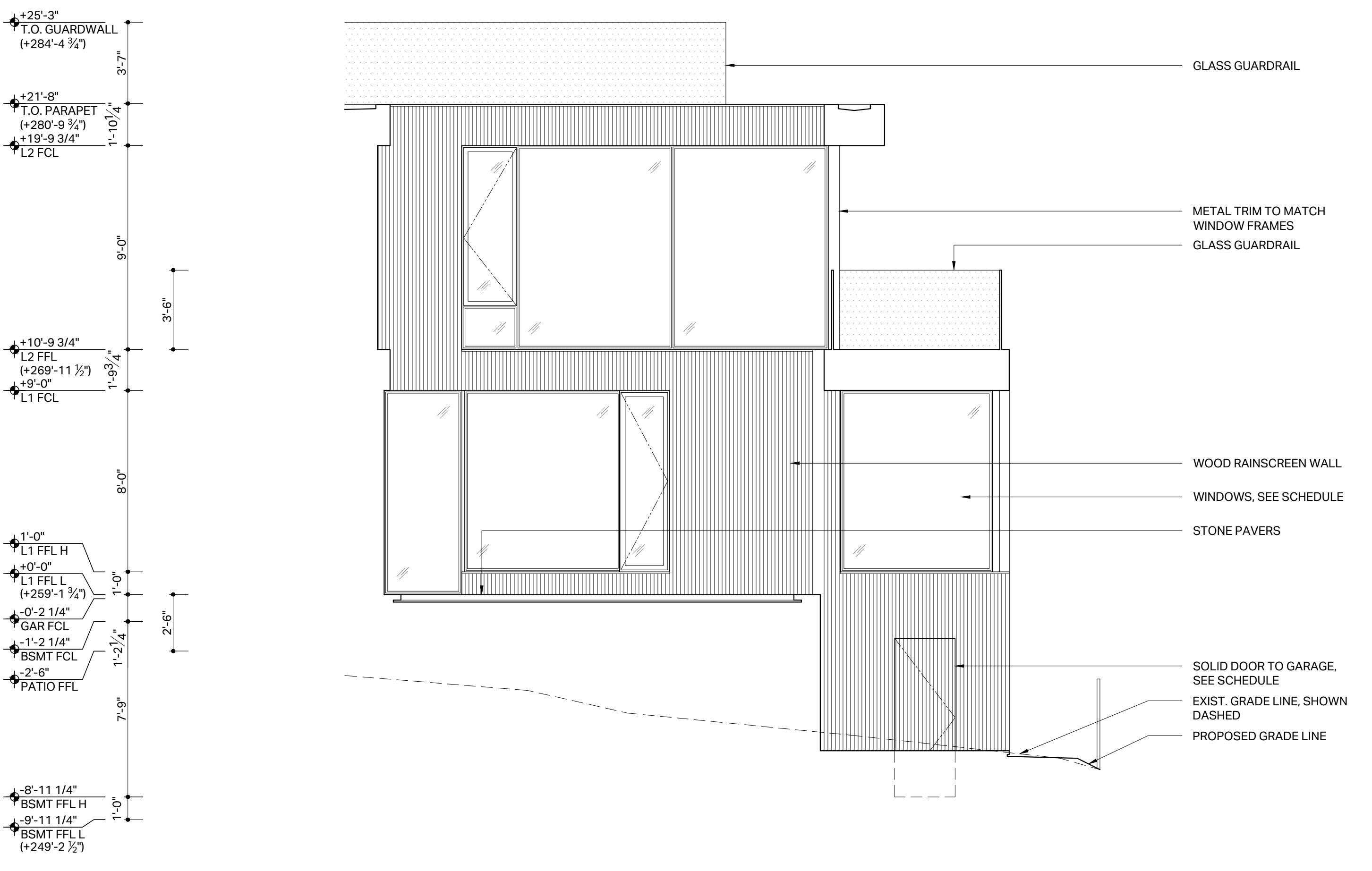
**CHRISTIAN WHEELER ENGINEERING**  
3980 HOME AVENUE  
SAN DIEGO, CA 92105  
TEL: (619) 550-1700



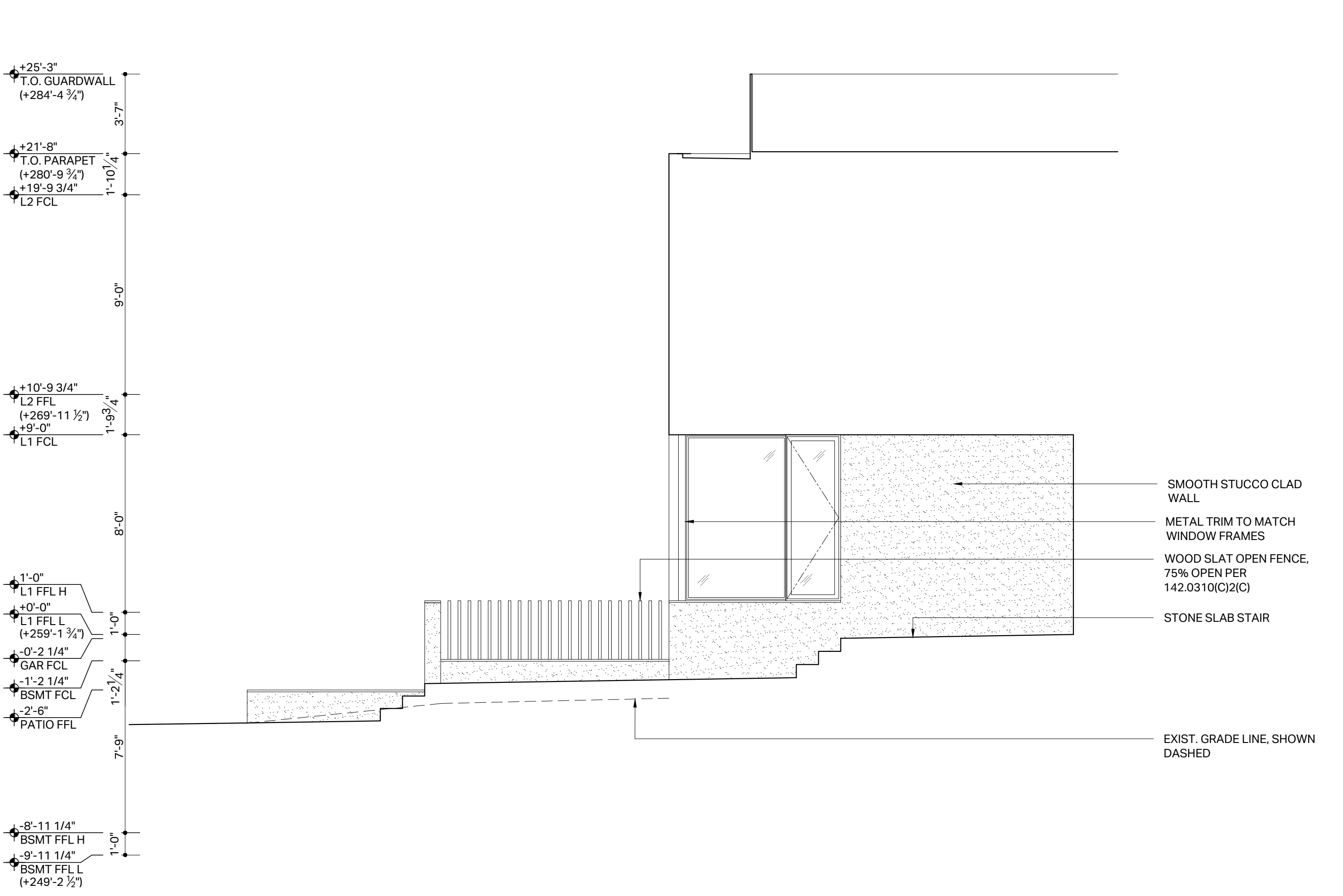
**4** PROPOSED COURTYARD ELEVATION  
SCALE: 1/4" = 1'-0"



**2** PROPOSED COURTYARD ELEVATION  
SCALE: 1/4" = 1'-0"



**3** PROPOSED COURTYARD ELEVATION  
SCALE: 1/4" = 1'-0"

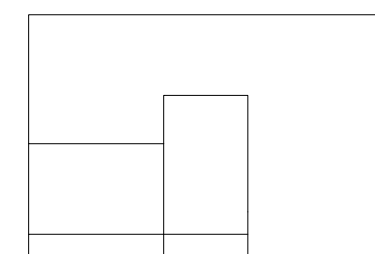


**1** PROPOSED ENTRY ELEVATION  
SCALE: 1/4" = 1'-0"

SEAL

NOT FOR CONSTRUCTION

KEY PLAN



ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
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4	10/04/2023	PROGRESS SET
5	10/20/2023	PROGRESS SET
6	12/05/2023	PROGRESS SET
7	06/06/2024	PROGRESS SET

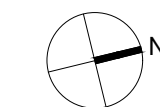
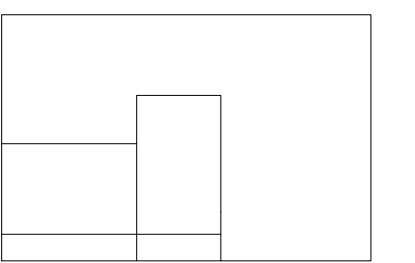
SHEET TITLE

### BUILDING ELEVATIONS

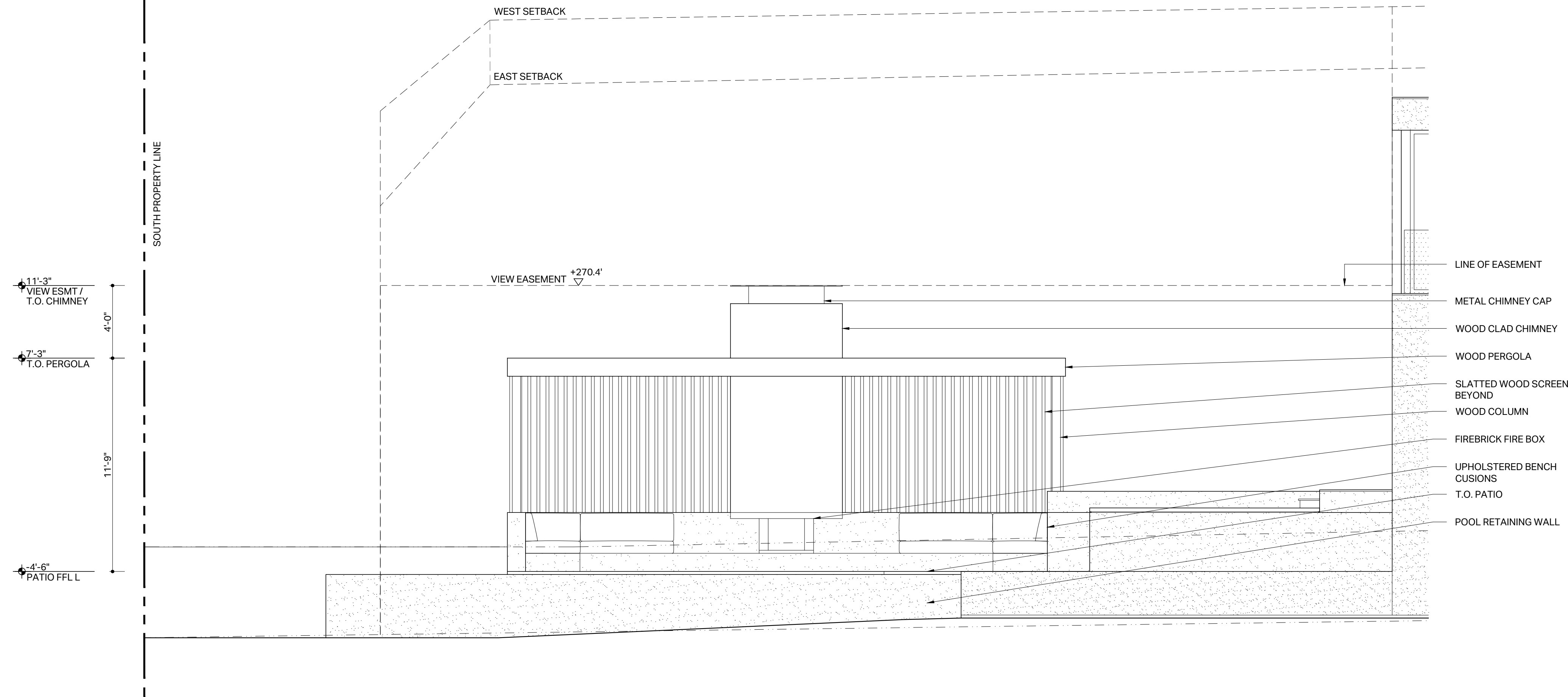
SCALE: 1/4" = 1'-0"      ISSUE DATE: 12/21/2022

SHEET NUMBER

# A303



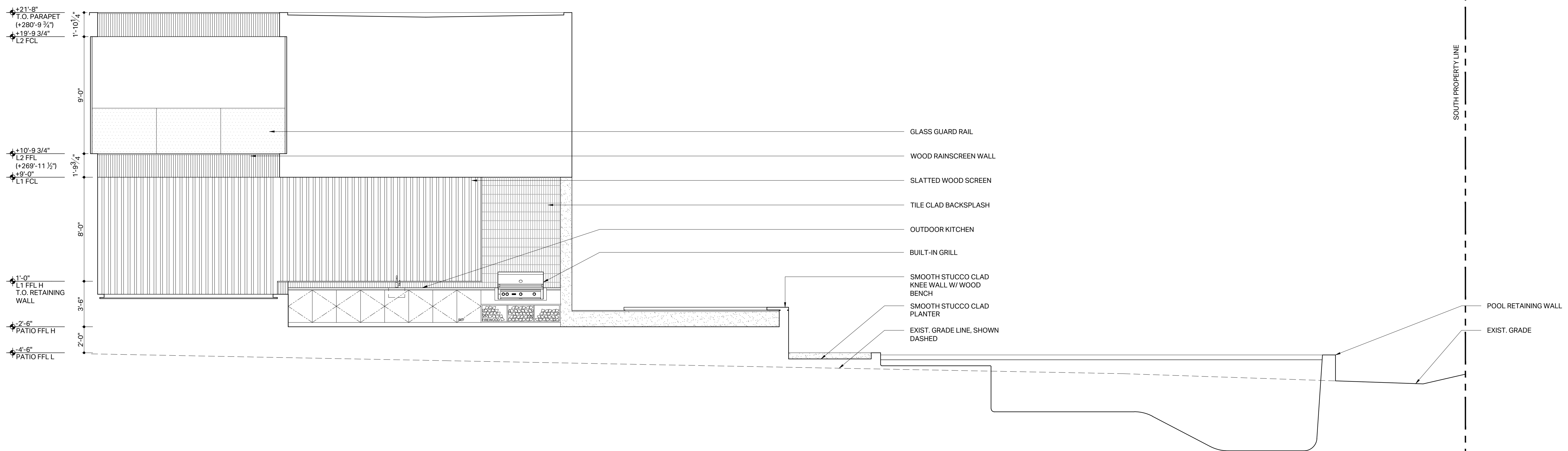
NO.	DATE	DESCRIPTION
1	12/21/2022	BUILDING PERMIT SET
2	06/15/2023	PROGRESS SET
3	09/08/2023	PROGRESS SET
4	10/04/2023	PROGRESS SET
5	10/20/2023	PROGRESS SET
6	12/05/2023	PROGRESS SET
7	06/06/2024	PROGRESS SET



2

PROPOSED COVERED PATIO ELEVATION

SCALE: 1/4" = 1'-0"



1

PROPOSED OUTDOOR KITCHEN ELEVATION

SCALE: 1/4" = 1'-0"

**MAKENS RESIDENCE**

3327 LUCINDA STREET  
SAN DIEGO, CA 92106

**auver**

AUVER ARCHITECTURE D.P.C.  
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TEL: +1 (212) 380-8206

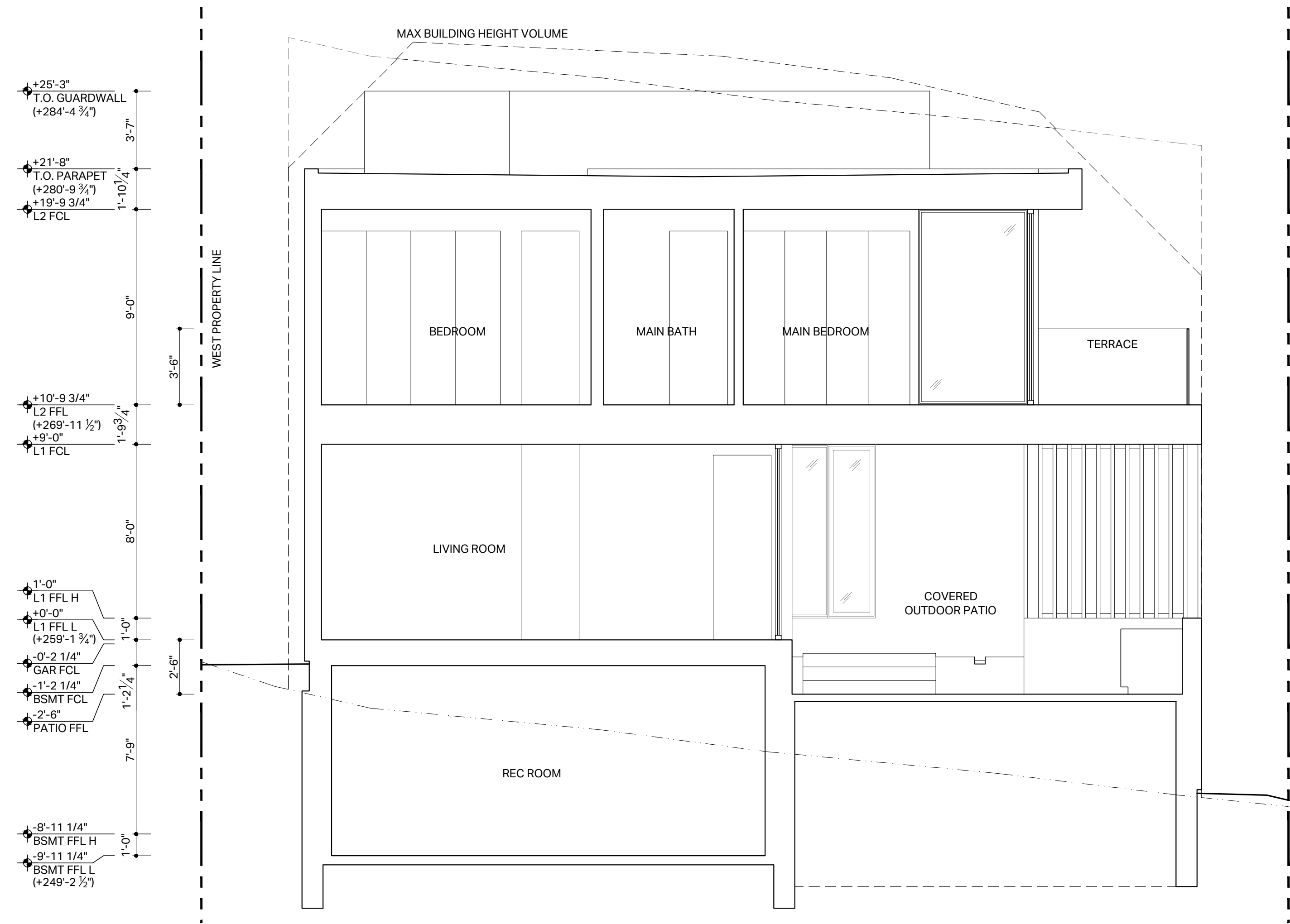
**BANAN INC.**  
4682 IOWA ST., SUITE 208  
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TEL: (619) 756-2939  
REZA.BANAN2@GMAIL.COM

**PERMITS BY MIKE**  
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PERMITSBYMIKE@ATT.NET

**BUILDERS' ENERGY SERVICES, INC.**  
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TEL: (408) 202-9075  
HEATHER@BUILDERS-ENERGY.NET

**SNIPES-DYE ASSOCIATES**  
8348 CENTER DRIVE, SUITE G  
LA MESA, CA 91942  
TEL: (619) 697-9234

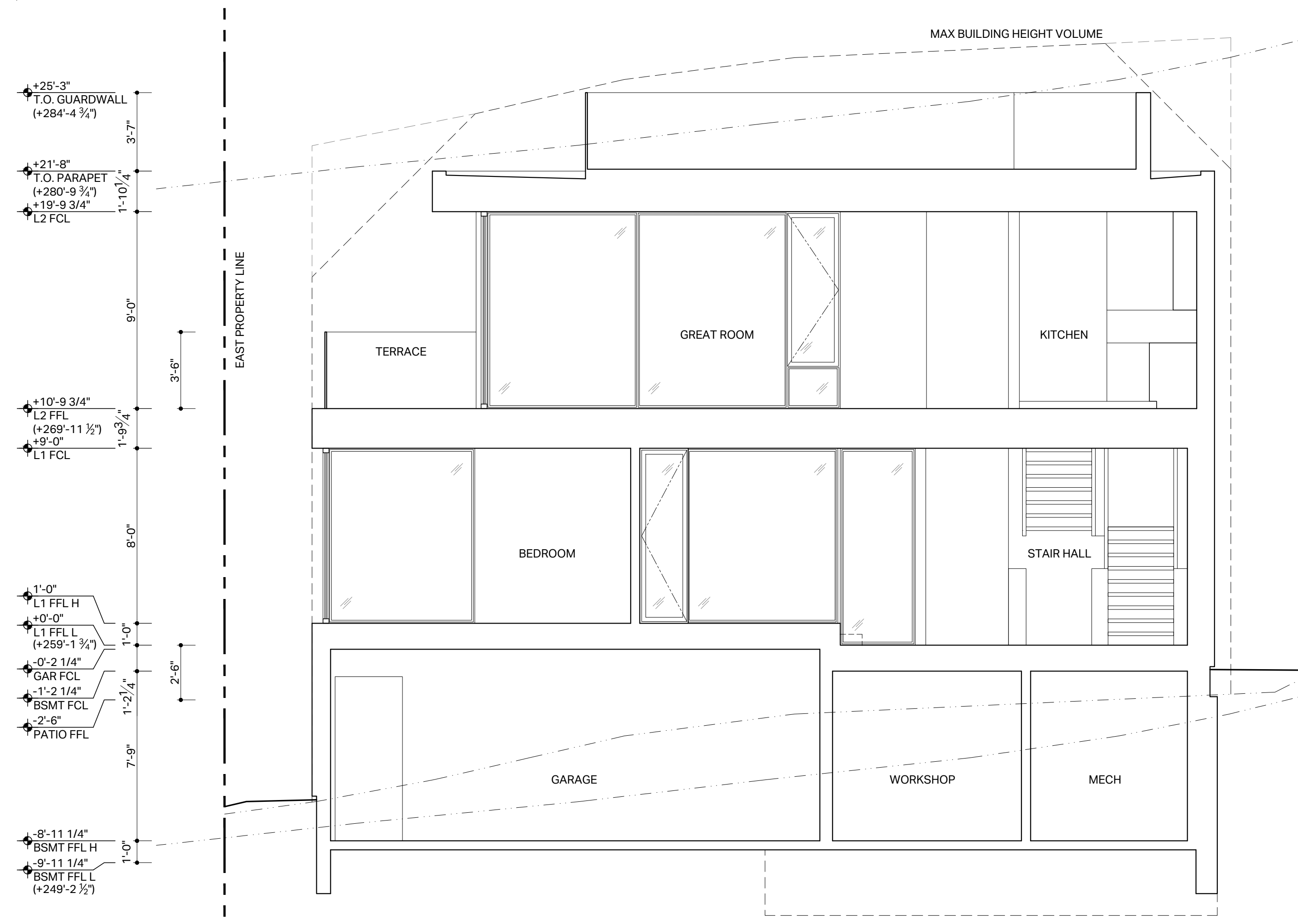
**CHRISTIAN WHEELER ENGINEERING**  
3980 HOME AVENUE  
SAN DIEGO, CA 92105  
TEL: (619) 550-1700



**2**

**PROPOSED BUILDING SECTION**

SCALE: 1/4" = 1'-0"

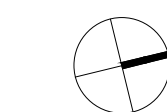
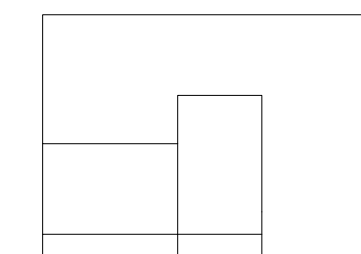


**1**

**PROPOSED BUILDING SECTION**

SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



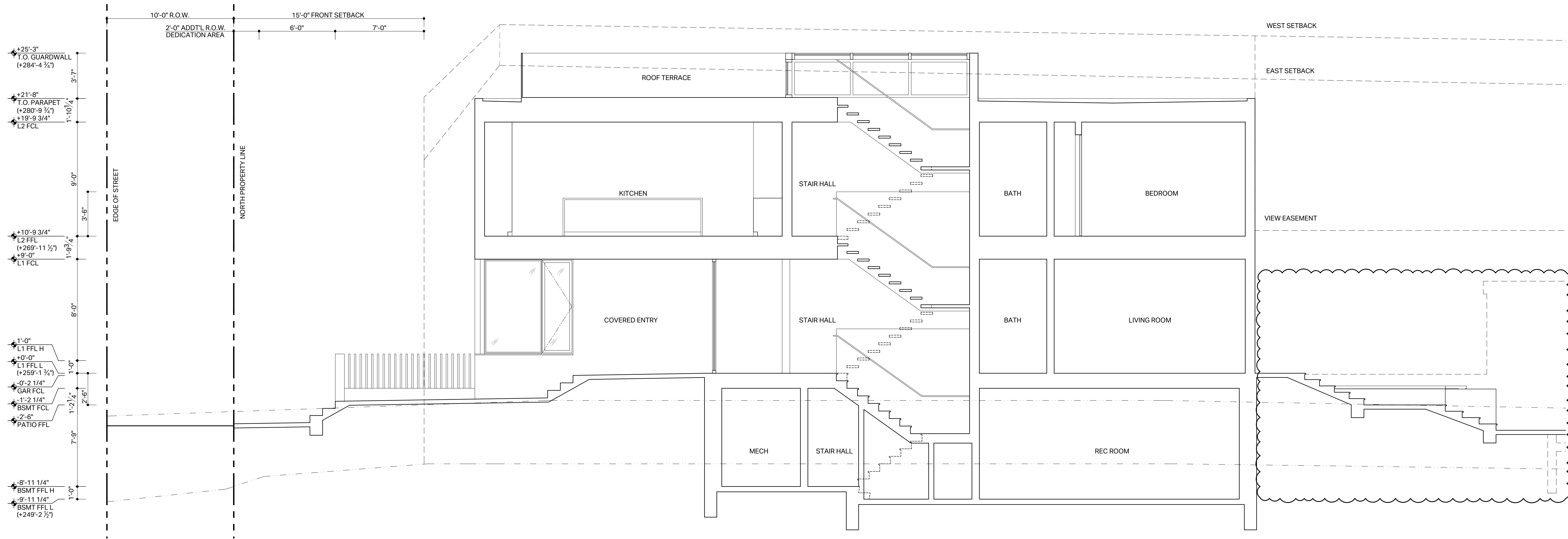
NO.	DATE	DESCRIPTION
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5	10/20/2023	PROGRESS SET
6	12/05/2023	PROGRESS SET
7	06/06/2024	PROGRESS SET

**BUILDING SECTIONS**

1/4" = 1'-0"

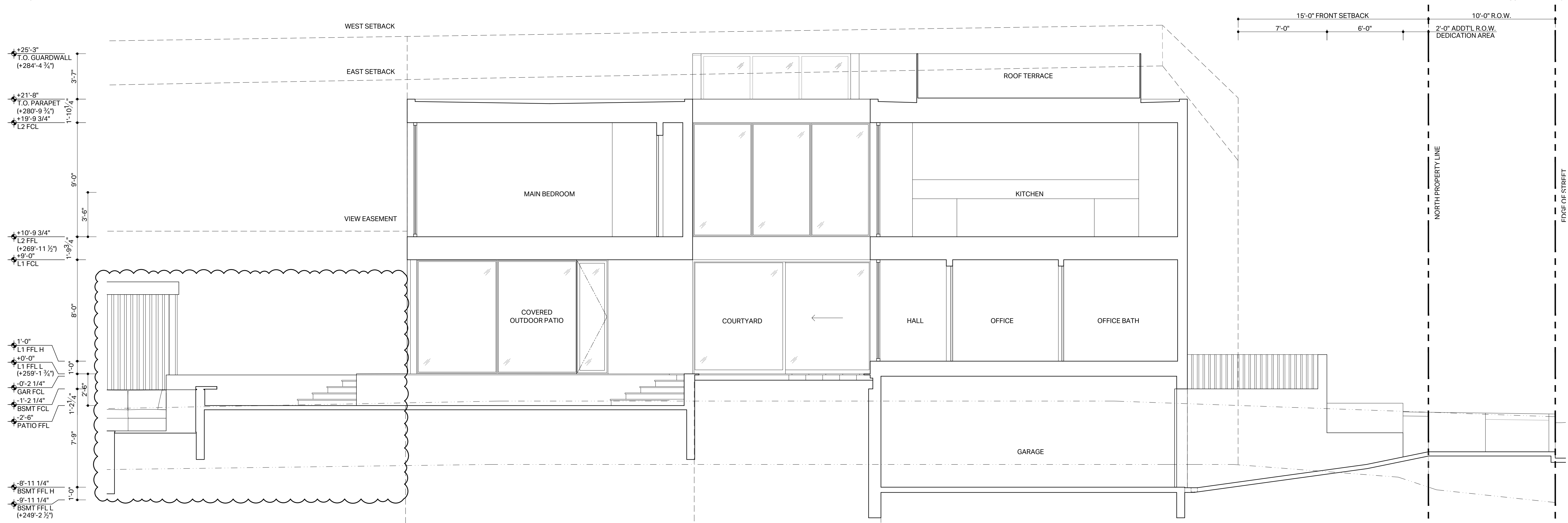
12/21/2022

**A311**



2

PROPOSED BUILDING SECTION  
SCALE: 1/4" = 1'-0"



1

PROPOSED BUILDING SECTION  
SCALE: 1/4" = 1'-0"

PROJECT  
**MAKENS RESIDENCE**  
3327 LUCINDA STREET  
SAN DIEGO, CA 92106

---

DESIGNER  
**auver**  
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NEW YORK, NEW YORK 10001  
TEL: +1 (212) 380-8206

---

STRUCTURAL ENGINEER  
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REZA.BANAN2@GMAIL.COM

---

EXPEDITOR  
**PERMITS BY MIKE**  
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---

TITLE: 24 ENERGY COMPLIANCE CONSULTANT  
**BUILDERS' ENERGY SERVICES, INC.**  
460 WEST EDMUNDSON AVENUE  
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HEATHER@BUILDERS-ENERGY.NET

---

CIVIL ENGINEER  
**SNIPES-DYE ASSOCIATES**  
8348 CENTER DRIVE, SUITE G  
LA MESA, CA 91942  
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---

GEOTECHNICAL ENGINEER  
**CHRISTIAN WHEELER ENGINEERING**  
3980 HOME AVENUE  
SAN DIEGO, CA 92105  
TEL: (619) 550-1700

SEAL

NOT FOR CONSTRUCTION

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KEY PLAN

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
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5	10/20/2023	PROGRESS SET
6	12/05/2023	PROGRESS SET
7	06/06/2024	PROGRESS SET

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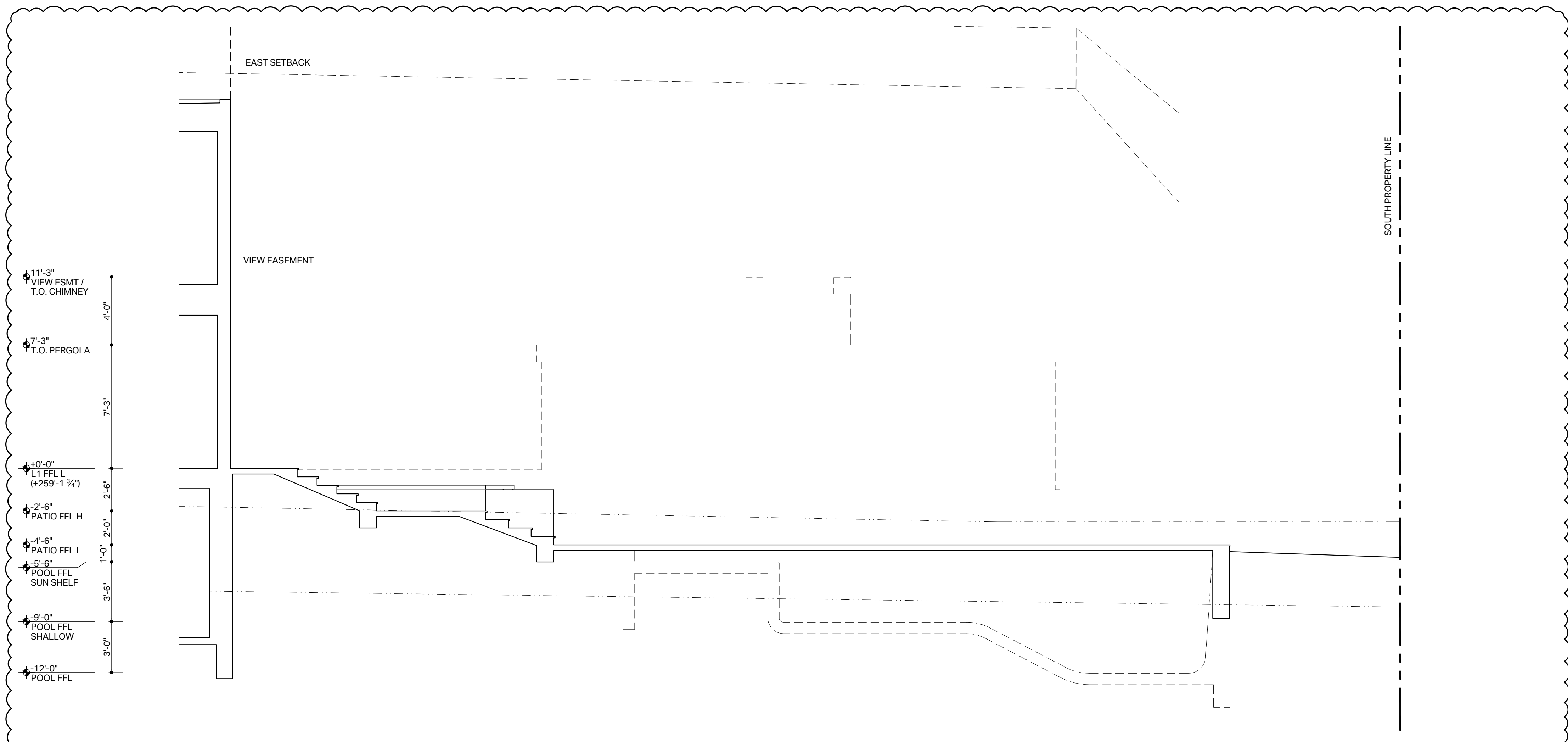
SHEET TITLE  
**BUILDING SECTIONS**

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SCALE: 1/4" = 1'-0"      ISSUE DATE: 12/21/2022

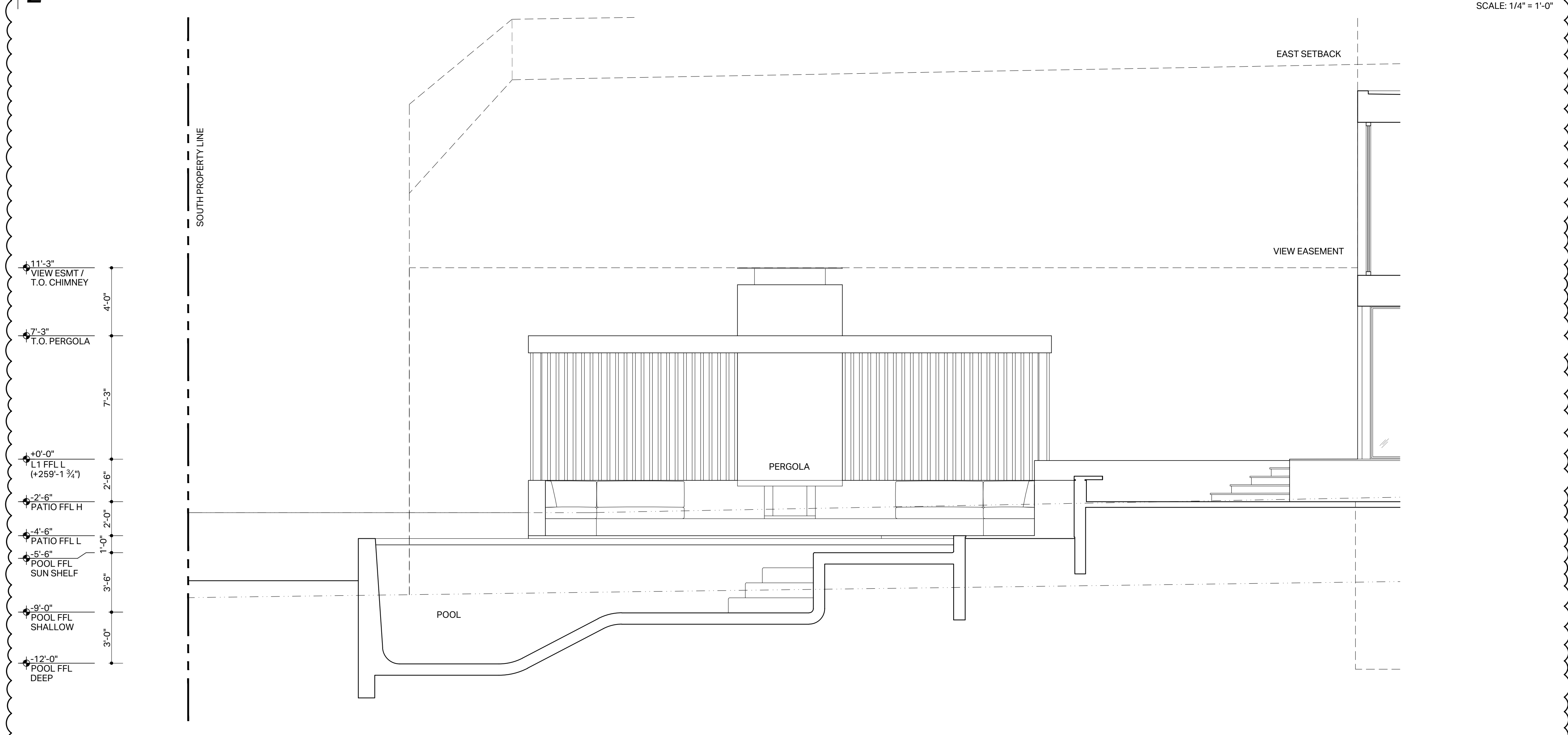
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SHEET NUMBER  
**A312**



2

PROPOSED BUILDING SECTION  
SCALE: 1/4" = 1'-0"



1

PROPOSED BUILDING SECTION  
SCALE: 1/4" = 1'-0"

PROJECT  
**MAKENS RESIDENCE**  
3327 LUCINDA STREET  
SAN DIEGO, CA 92106

---

DESIGNER  
**auver**  
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NEW YORK, NEW YORK 10001  
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CIVIL ENGINEER

---

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LA MESA, CA 91942  
TEL: (619) 697-9234  
GEOTECHNICAL ENGINEER

---

**CHRISTIAN WHEELER ENGINEERING**  
3980 HOME AVENUE  
SAN DIEGO, CA 92105  
TEL: (619) 550-1700

SEAL

NOT FOR CONSTRUCTION

KEY PLAN

North arrow pointing up.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
7	06/06/2024	PROGRESS SET

SHEET TITLE  
**YARD SECTIONS**

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SCALE: 1/4" = 1'-0"  
ISSUE DATE: 12/21/2022

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SHEET NUMBER

**A313**