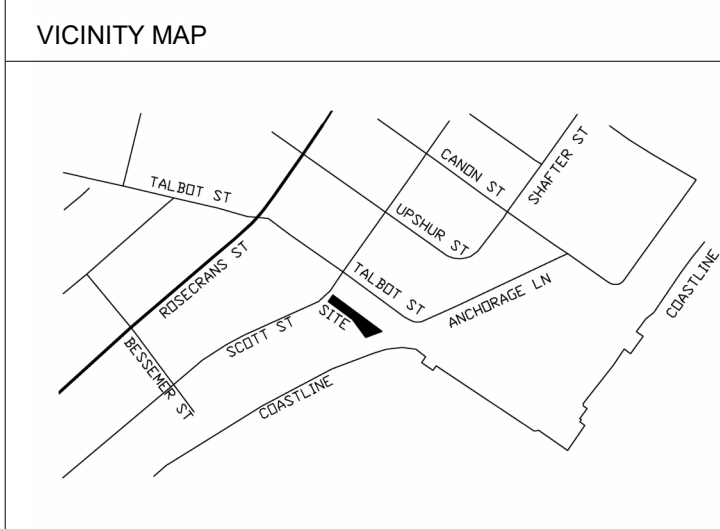


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SCOPE OF WORK

PROJECT PROPOSES A THIRD FLOOR ADDITION TO AN EXISTING SINGLE FAMILY RESIDENCE. REMOVAL OF 118 SF OF HABITABLE AREA, CONVERSION OF 800 SF TO AN ATTACHED ADU, AND ASSOCIATED SITE IMPROVEMENTS.
 PROJECT REQUESTS DEVIATIONS, NOTED ON THIS SHEET

PROJECT INFORMATION

PROJECT NAME:	AUSTIN RESIDENCE
PROJECT ADDRESS:	991 SCOTT ST. SAN DIEGO, CA 92106
OCCUPANCY:	R-3
BUILDING TYPE:	TYPE VB
APN:	531-603-05-00
LEGAL DESCRIPTION:	LOT 5 BLOCK 1 MAP 1152 BAY SHORE ADDITION, <u>JUNE 24, 2024</u>
ZONE:	RS-1.7
PLANNING AREA:	PENINSULA COMMUNITY PLAN
SITE AREA:	5,355 SF
FRONT SETBACK:	15'-0"
SIDE SETBACK:	2'-0" (WIDTH x 0.08)
MINIMUM REAR SETBACK:	13'-0"
MAXIMUM HEIGHT BY RIGHT:	30'-0"
BASE FAR:	0.59 (5,355 x 0.59 = 3,160 SF)
FAR PROPOSED:	3,750 SF

REQUESTED DEVIATIONS

- THE EXISTING GFA ON-SITE EXCEEDS THE MAXIMUM ALLOWABLE PER SDMC, AS SHOWN IN COUNTY BUILDING RECORD. PROJECT PROPOSES A REDUCTION IN GFA FROM 3868 SF TO 3750 SF. PROJECT IS REQUESTING DEVIATION TO MAXIMUM ALLOWABLE GFA TO MATCH EXISTING SQUARE FOOTAGE AS NOTED IN COUNTY BUILDING RECORD

AUSTIN RESIDENCE

COASTAL DEVELOPMENT PERMIT SUBMITTAL

04/04/2024

991 SCOTT STREET SAN DIEGO, CA 92106



GOVERNING CODE

ALL WORK AND MATERIALS SHALL BE PROVIDED IN ACCORDANCE WITH THE CODES AND STANDARDS GOVERNING THE WORK, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE PART 1, TITLE 24, CALIFORNIA CODE OF REGULATIONS
- 2022 CALIFORNIA RESIDENTIAL CODE PART 2.5, TITLE 24, CALIFORNIA CODE OF REGULATIONS
- 2022 CALIFORNIA ELECTRICAL CODE PART 3, TITLE 24, CALIFORNIA CODE OF REGULATIONS
- 2022 CALIFORNIA MECHANICAL CODE PART 4, TITLE 24, CALIFORNIA CODE OF REGULATIONS
- 2022 CALIFORNIA PLUMBING CODE PART 5, TITLE 24, CALIFORNIA CODE OF REGULATIONS
- 2022 CALIFORNIA ENERGY CODE PART 6, TITLE 24, CALIFORNIA CODE OF REGULATIONS
- 2022 CALIFORNIA FIRE CODE PART 9, TITLE 24, CALIFORNIA CODE OF REGULATIONS
- 2022 CALIFORNIA EXISTING BUILDING CODE PART 10, TITLE 24, CALIFORNIA CODE OF REGULATIONS
- 2022 CALIFORNIA GREEN CODE PART 11, TITLE 24, CALIFORNIA CODE OF REGULATIONS
- 2022 CALIFORNIA REFERENCED STANDARDS PART 2, TITLE 24, CALIFORNIA CODE OF REGULATIONS
- NFPA 88A & 101
- SAN DIEGO MUNICIPAL CODE

PROJECT DIRECTORY

PROPERTY OWNER: DOUGLAS H. AUSTIN
 991 SCOTT ST.
 SAN DIEGO, CA 92106
 (619) 972-4727 (OFFICE)
 EMAIL: DHAUSTIN@AVRPSTUDIOS.COM

ARCHITECT: AVRP STUDIOS
 703 16TH STREET, SUITE 200
 SAN DIEGO, CA 92101
 (619) 704-2700 (OFFICE)
 EMAIL: TQUAAS@AVRPSTUDIOS.COM

SHEET INDEX

T1.00	TITLE SHEET
T1.01	3D VIEWS
T1.02	COASTAL WALL CALCS
T1.03	AREA CALCS
T1.04	AREA CALCS
A1.01	SITE PLAN
A1.02	FLOOR PLAN - LEVEL 1 & 2
A1.03	FLOOR PLAN - LEVEL 3 & ROOF PLAN
A1.04	EXISTING ELEVATIONS
A1.05	PROPOSED ELEVATIONS
A1.06	SECTIONS
A1.07	SECTIONS

OVERLAYS

COASTAL OVERLAY ZONE:	N-APP-1
COASTAL HEIGHT LIMIT OVERLAY ZONE:	CHLOZ
PARKING IMPACT OVERLAY ZONE (PIOZ):	COASTAL IMPACT
PARKING STANDARDS TRANSIT PRIORITY AREA:	YES
TRANSIT PRIORITY AREA:	YES
GEOLOGICAL HAZARD:	53_31
SENSITIVE COASTAL OVERLAY ZONE:	SDOZ-WTB
AIRPORT INFLUENCE AREA:	SAN DIEGO INTERNATIONAL AIRPORT, NAS NORTH ISLAND
CALIFORNIA COASTAL ACT APPEAL JURISDICTION:	YES

CERTIFICATION STATEMENT

I HEREBY ACKNOWLEDGE AND CERTIFY THAT

- I AM ACCOUNTABLE FOR KNOWING AND COMPLYING WITH THE GOVERNING POLICIES, REGULATIONS AND SUBMITTAL REQUIREMENTS APPLICABLE TO THIS PROPOSED DEVELOPMENT;
- I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS AND DECISION PROCESS FOR THE PROPOSED PROJECT, AND THAT FAILURE TO ACCURATELY IDENTIFY AN APPROVAL OR DECISION PROCESS COULD SIGNIFICANTLY DELAY THE PERMITTING PROCESS;
- I HAVE TAKEN THE PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW TRAINING AND AM ON THE APPROVED LIST FOR PROFESSIONAL CERTIFICATION;
- MAINTAINING MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW PRIVILEGE REQUIRES ACCURATE SUBMITTALS ON A CONSISTENT BASIS;
- SUBMITTING INCOMPLETE DOCUMENTS AND PLANS ON A CONSISTENT BASIS MAY RESULT IN THE REVOCATION OF MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW;
- IF REQUIRED DOCUMENTS OR PLAN CONTENT IS MISSING, PROJECT REVIEW WILL BE DELAYED; AND
- THIS SUBMITTAL PACKAGE MEETS ALL OF THE MINIMUM SUBMITTAL REQUIREMENTS CONTAINED IN LAND DEVELOPMENT MANUAL, VOLUME 1, CHAPTER 1, SECTION 4.

RESPONSIBLE CERTIFIED PROFESSIONAL NAME:
 SIGNATURE:
 DATE:

703 16th Street, Suite 200
 San Diego, CA 92101
 P 619.704.2700
 F 619.704.2699
 www.avrpstudios.com

STAMP:

 CONSULTANT:

 PROJECT NAME:

NOT FOR CONSTRUCTION
Austin Residence
991 Scott St. San Diego, CA 92106

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 DESCRIPTION: _____

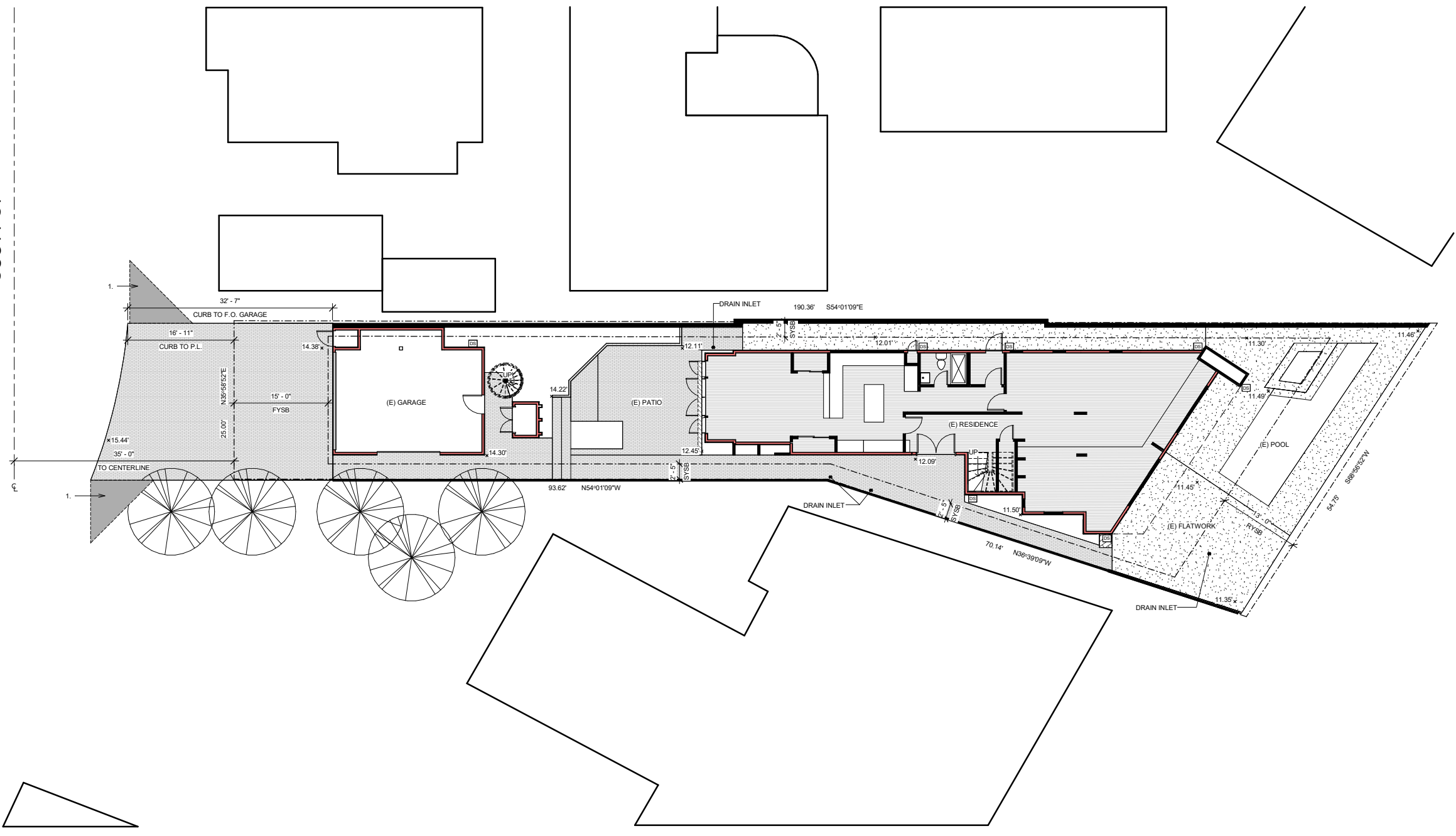
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 AGENCY NUMBER:
 DRAWN BY:
 CHECKED BY:
 SHEET TITLE: TITLE SHEET

SHEET NUMBER:
T1.00

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(E) WATER & SEWER
SCOTT ST



1 SITE PLAN EXISTING
1/8" = 1'-0"

Impervious Area

Existing Impervious Area: 2899.7 SF
Proposed Impervious Area: 2129.2 SF
Pervious Area:
Total Disturbance Area:

KEYNOTES

- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMG SECTION 142.0409 (B)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

10/20/24 10:52 AM I:\WORK\PLANS\991scott\991scott.dwg (1) Project: 21001 991 Scott St. 9/20/24 10:52 AM
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DESCRIPTION: _____

PROJECT NUMBER: 21001

AGENCY NUMBER: _____

DRAWN BY: _____

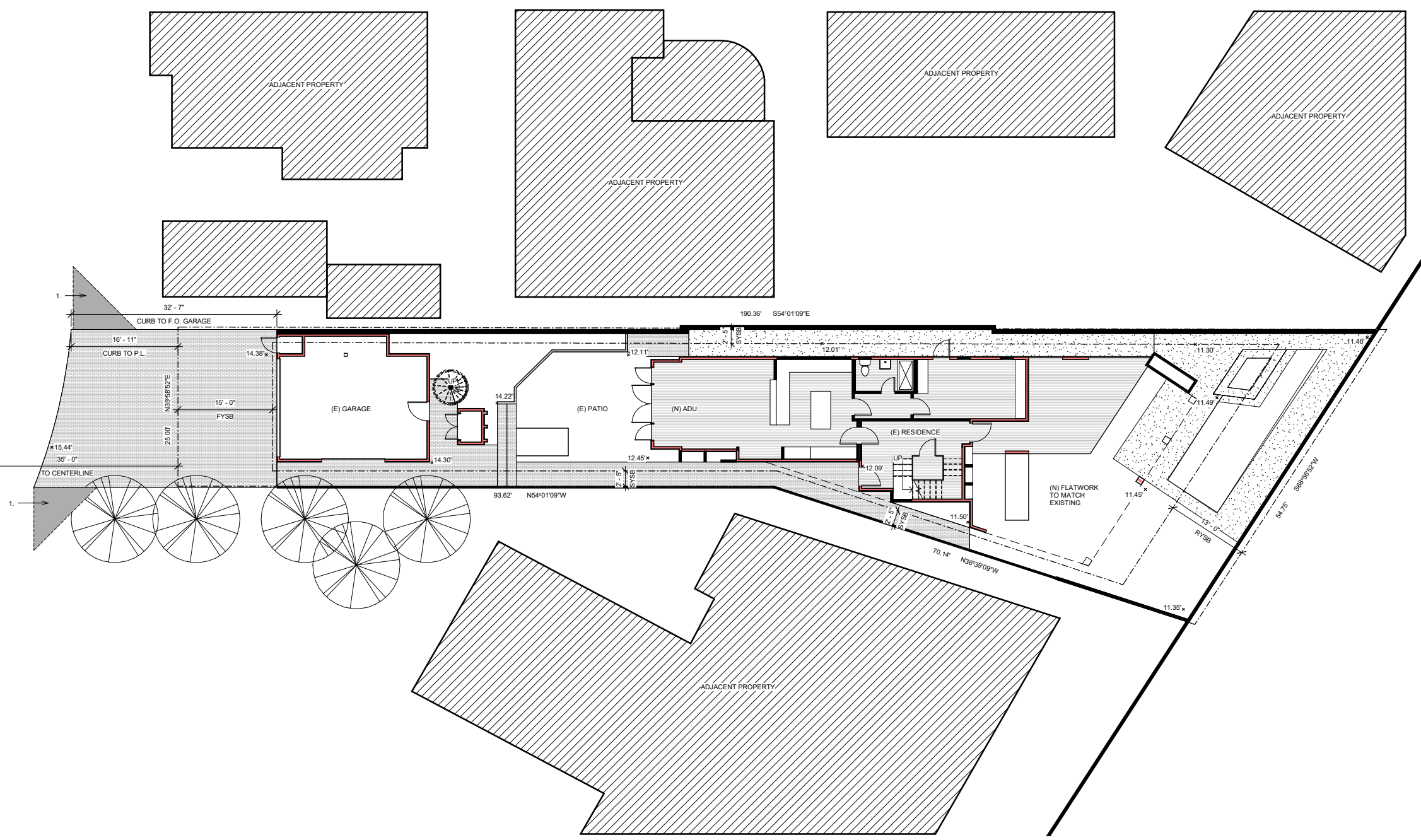
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SHEET TITLE: PROPOSED SITE PLAN

SHEET NUMBER:

A1.02

SCOTT ST



1 SITE PLAN PROPOSED
1/8" = 1'-0"

KEYNOTES

- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMG SECTION 142.0409 (B)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

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DESCRIPTION: _____

PROJECT NUMBER: 21001

AGENCY NUMBER: _____

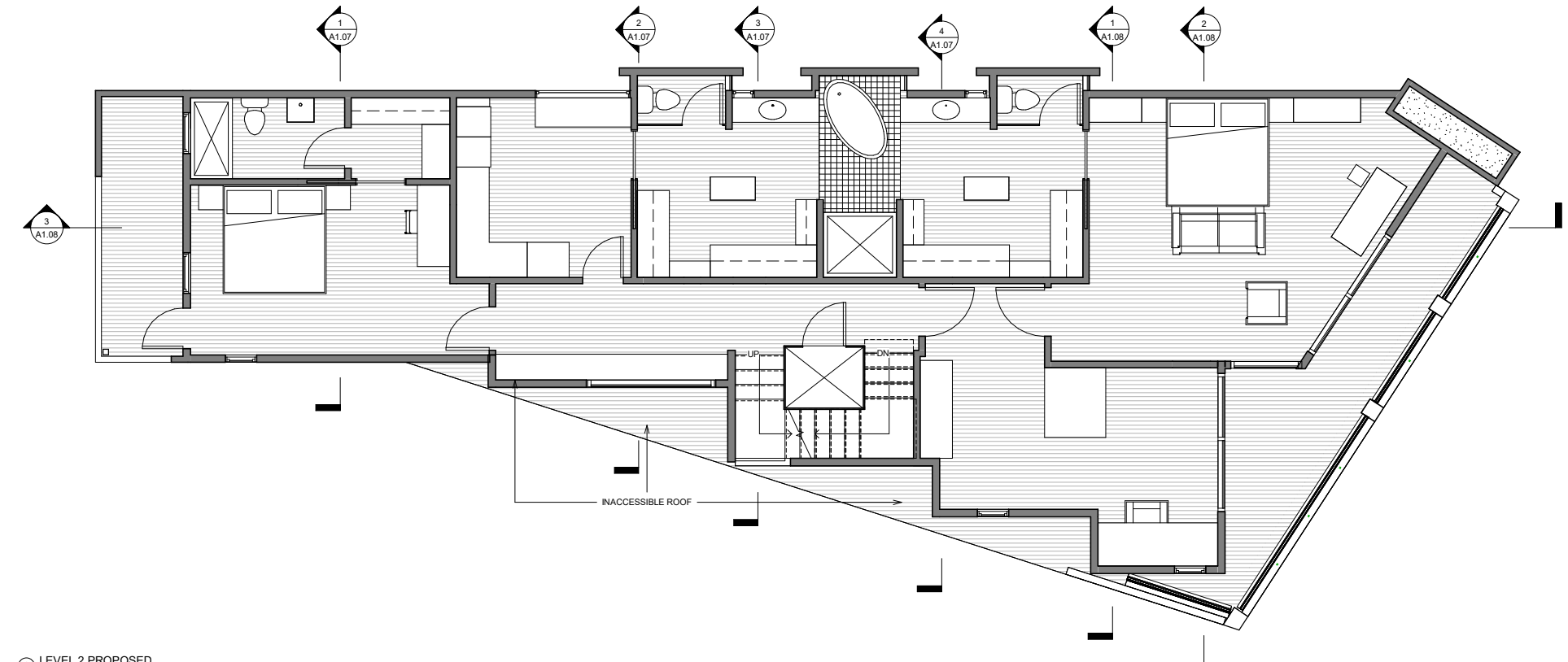
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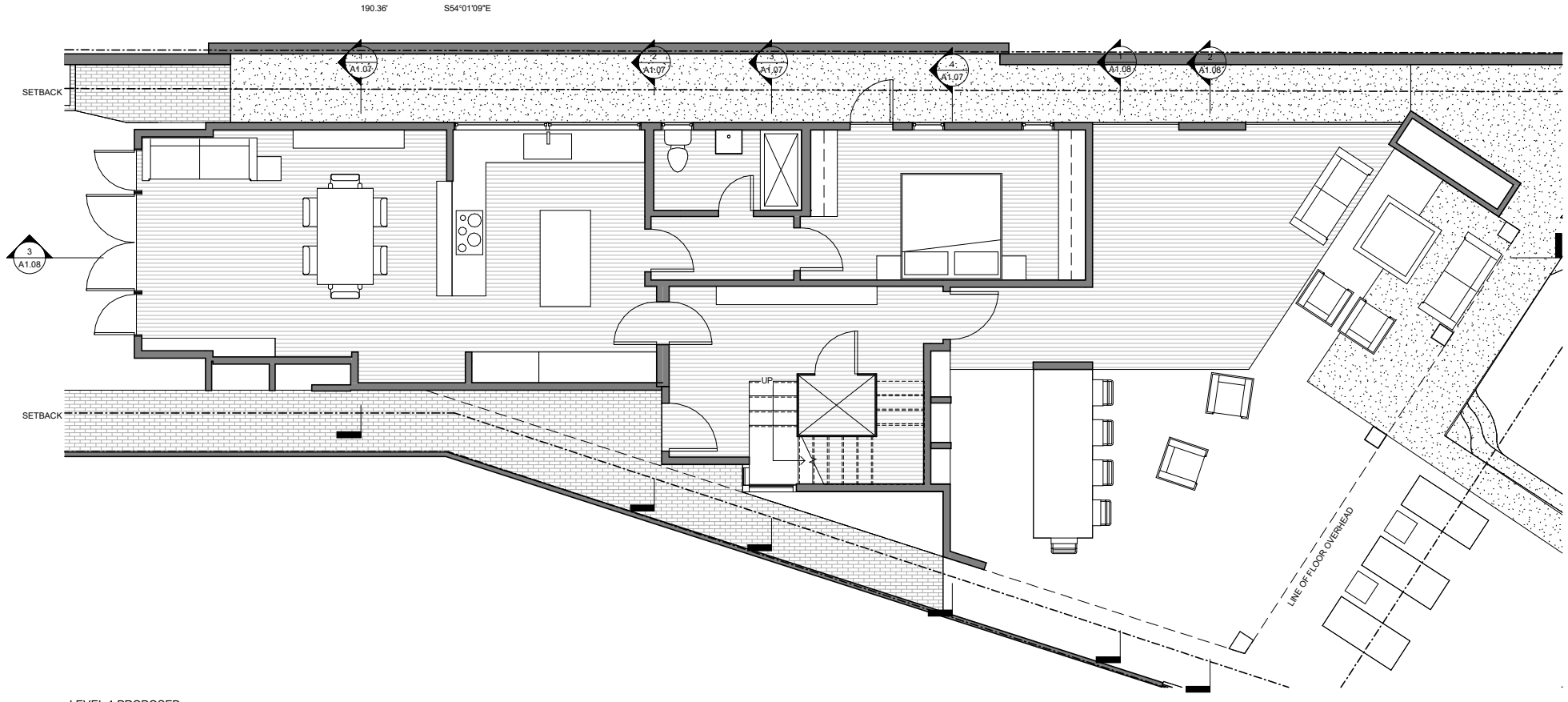
SHEET TITLE: FLOOR PLAN - LEVEL 1 & 2

SHEET NUMBER: _____

A1.03



② LEVEL 2 PROPOSED
1/4" = 1'-0"



① LEVEL 1 PROPOSED
1/4" = 1'-0"

PROJECT: 10-14-14 PM
 I: NURSERY PLAN
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PROJECT NAME:

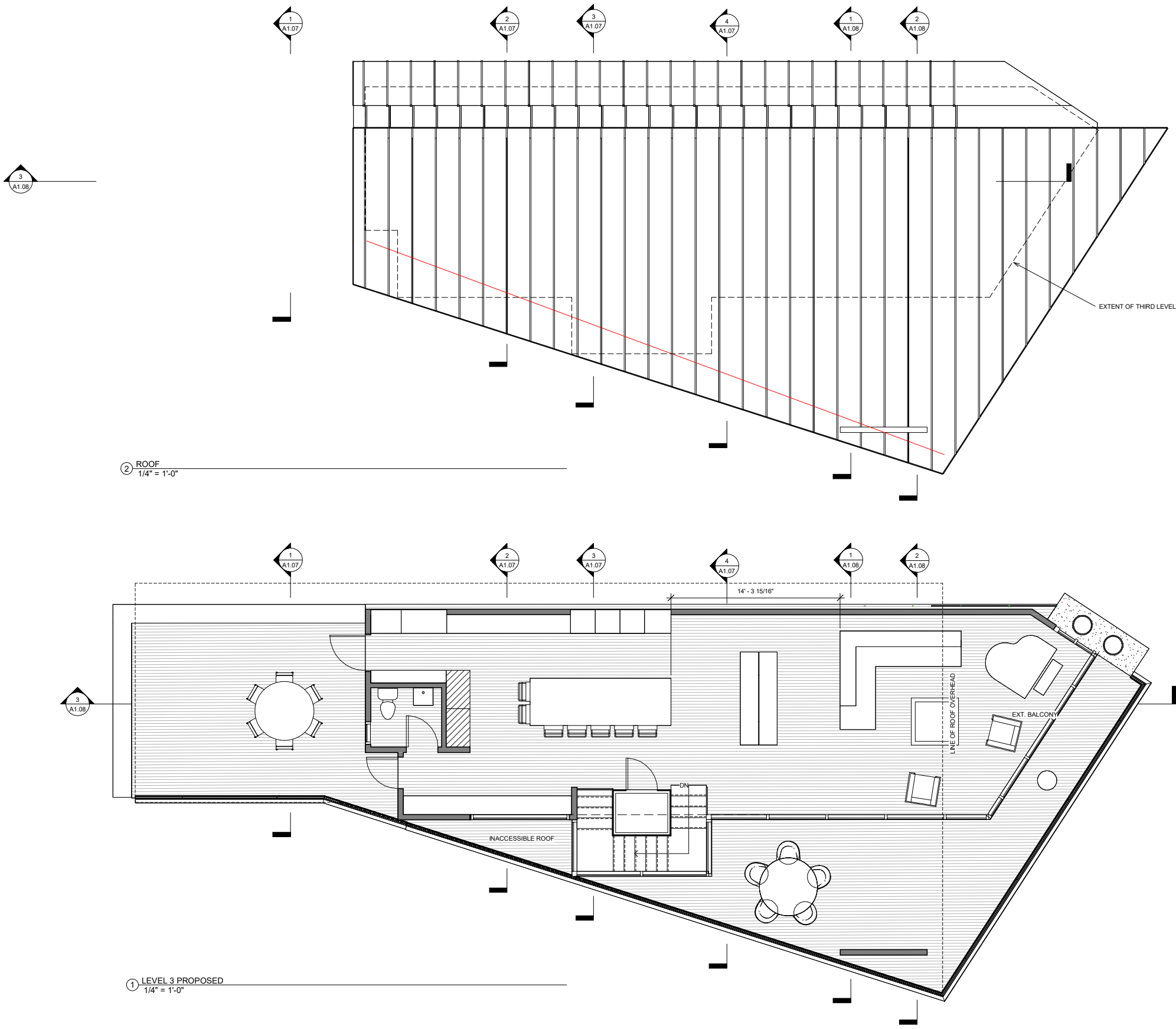
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991 Scott St. San Diego, CA 92106

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DESCRIPTION: _____

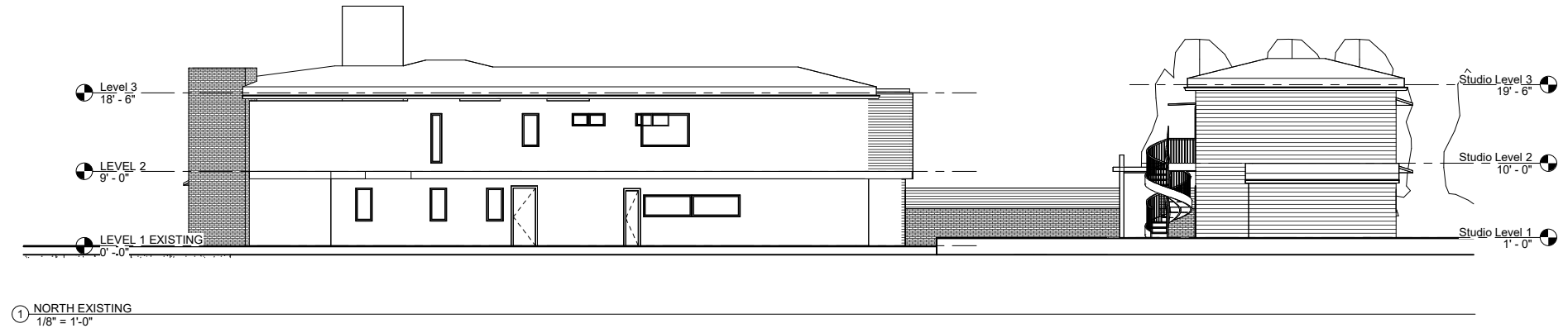
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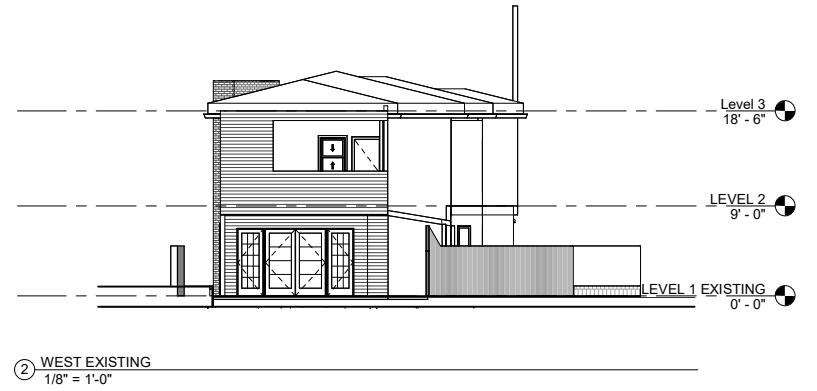
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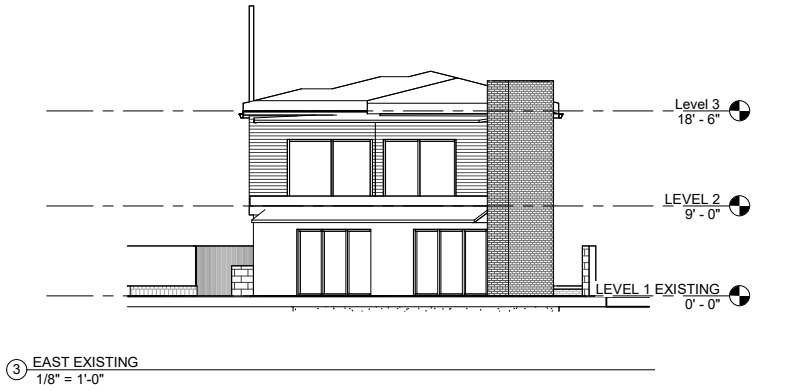
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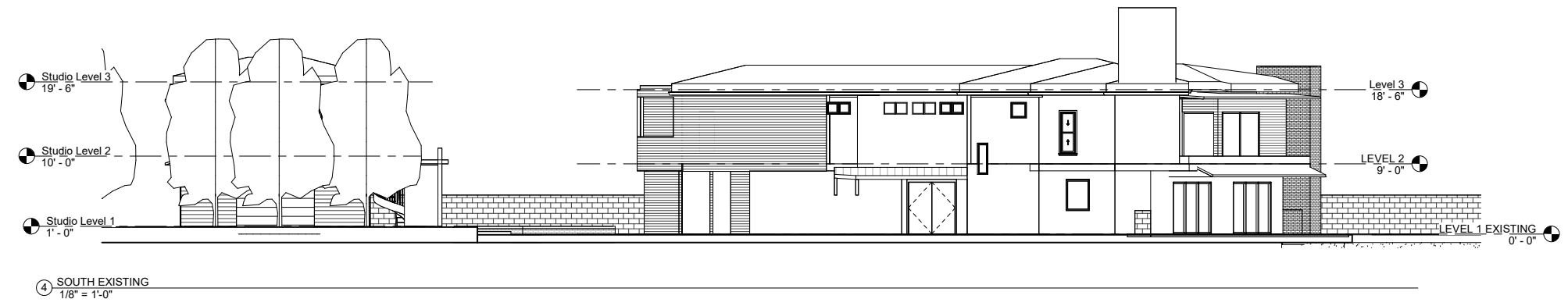
① NORTH EXISTING
1/8" = 1'-0"



② WEST EXISTING
1/8" = 1'-0"



③ EAST EXISTING
1/8" = 1'-0"



④ SOUTH EXISTING
1/8" = 1'-0"

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ISSUE DATES: _____ DATE: _____
DESCRIPTION: _____

PROJECT NUMBER: 21001
AGENCY NUMBER: _____
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SHEET TITLE: EXISTING ELEVATIONS

SHEET NUMBER: _____

A1.05

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PROJECT NUMBER: 21001

AGENCY NUMBER: _____

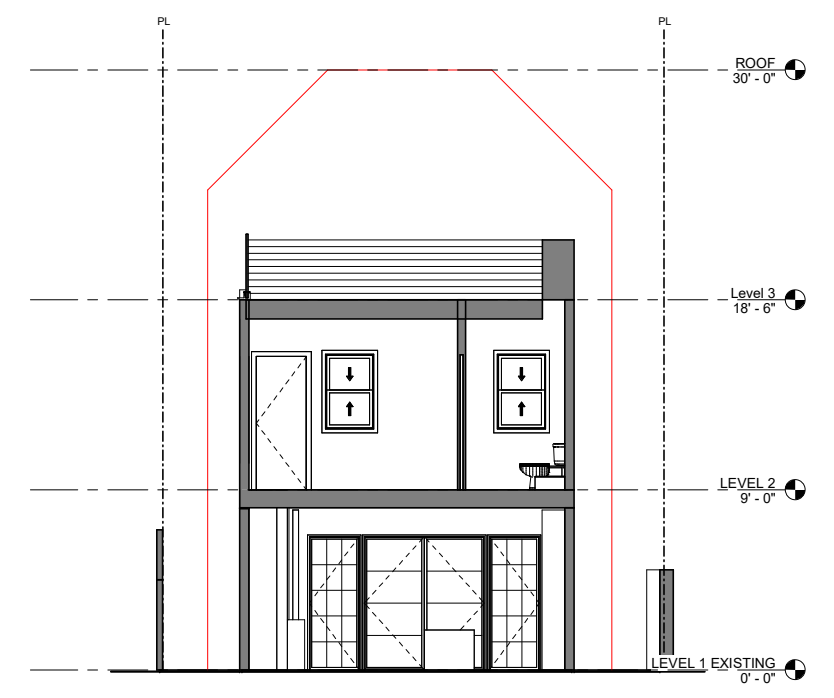
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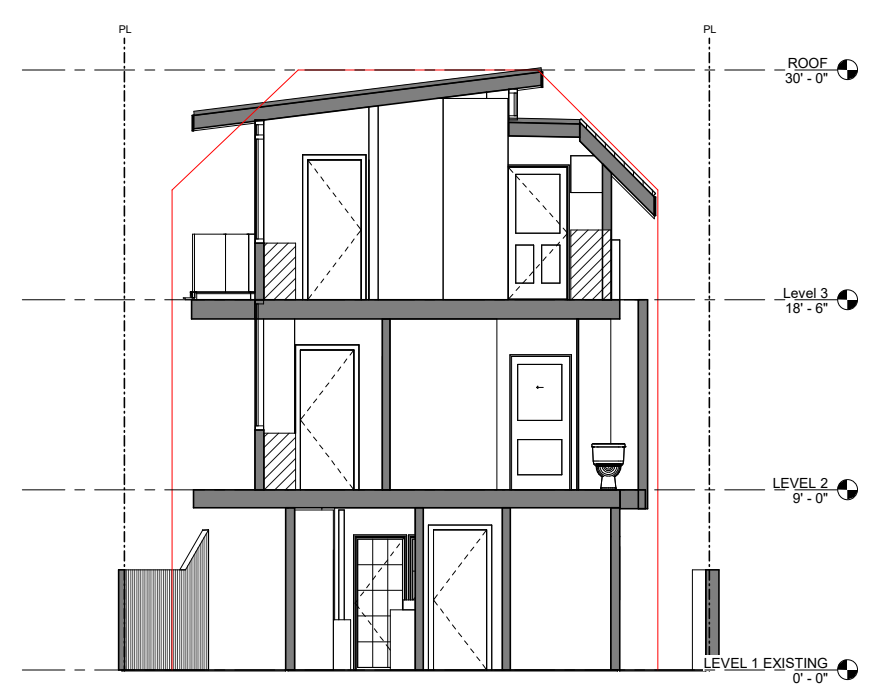
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SHEET NUMBER: _____

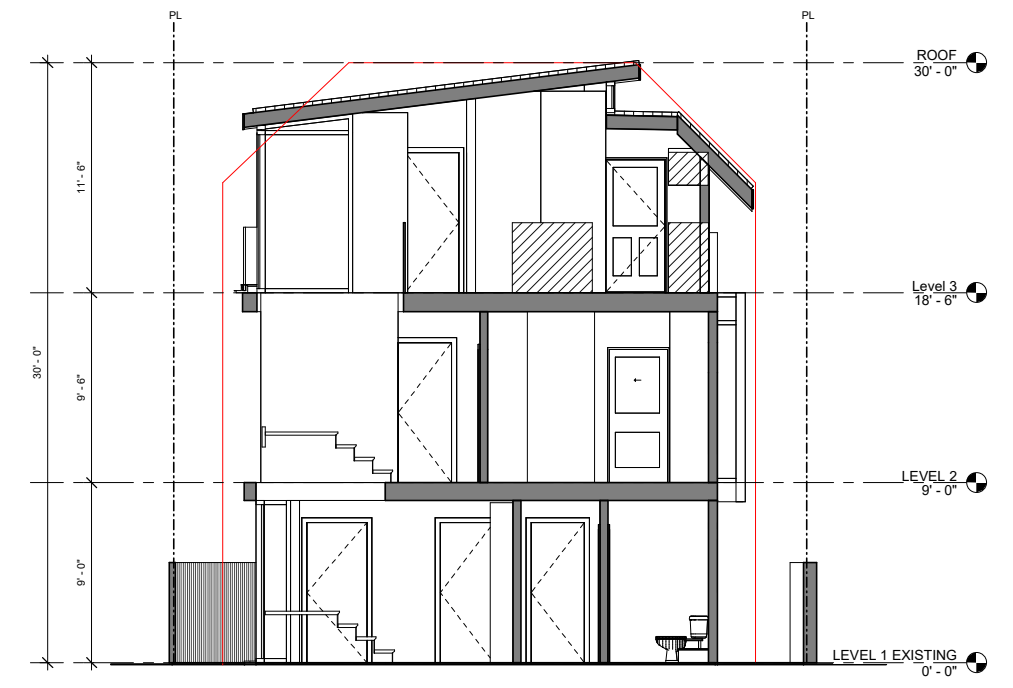
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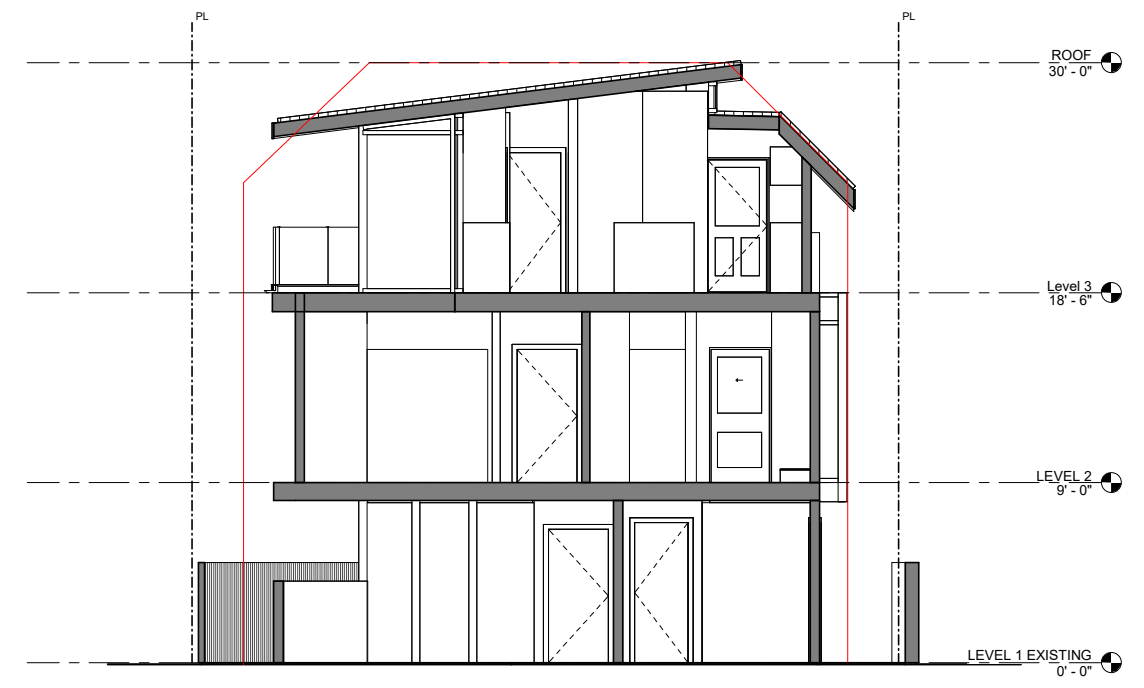
① SECTION 1
1/4" = 1'-0"



② SECTION 2
1/4" = 1'-0"



③ SECTION 3
1/4" = 1'-0"



④ SECTION 4
1/4" = 1'-0"

PROJECT: 1510 PM - I - NUMBER: 21001 - SHEET: A1.07 - PROJECT: 991 Scott St. San Diego, CA 92106 - DATE: 08/14/2024
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PROJECT NAME:

NOT FOR CONSTRUCTION
Austin Residence
991 Scott St. San Diego, CA 92106

ISSUE DATES: _____ DATE: _____

DESCRIPTION: _____

PROJECT NUMBER: 21001

AGENCY NUMBER: _____

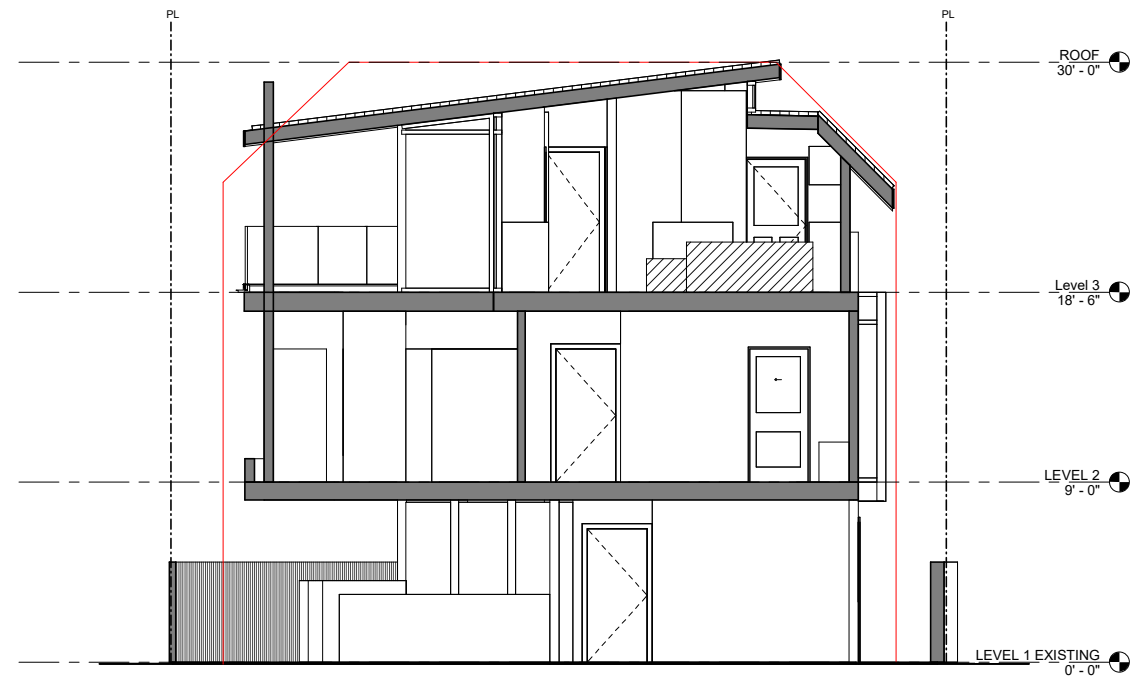
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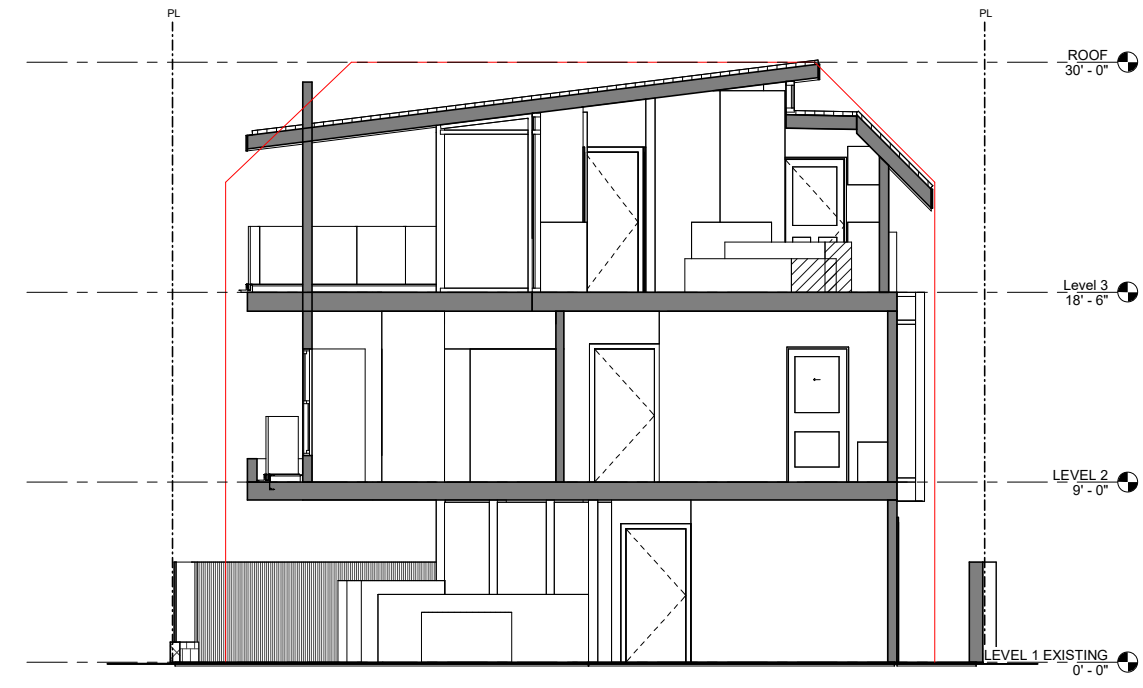
SHEET TITLE: SECTIONS

SHEET NUMBER: _____

A1.08



① SECTION 1 A106
1/4" = 1'-0"



② SECTION 2 A106
1/4" = 1'-0"



③ SECTION 3 A106
1/4" = 1'-0"

PROJECT NO. 04-04-11 | AVRP STAFF: ARCHITECT/DESIGNER/PROJECT MANAGER: AVRP STUDIOS, INC. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE, WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF AVRP STUDIOS, INC. ALL IDEAS, DESIGN ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF AVRP STUDIOS, INC. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE IN CONNECTION WITH THE SPECIFIED PROJECT.