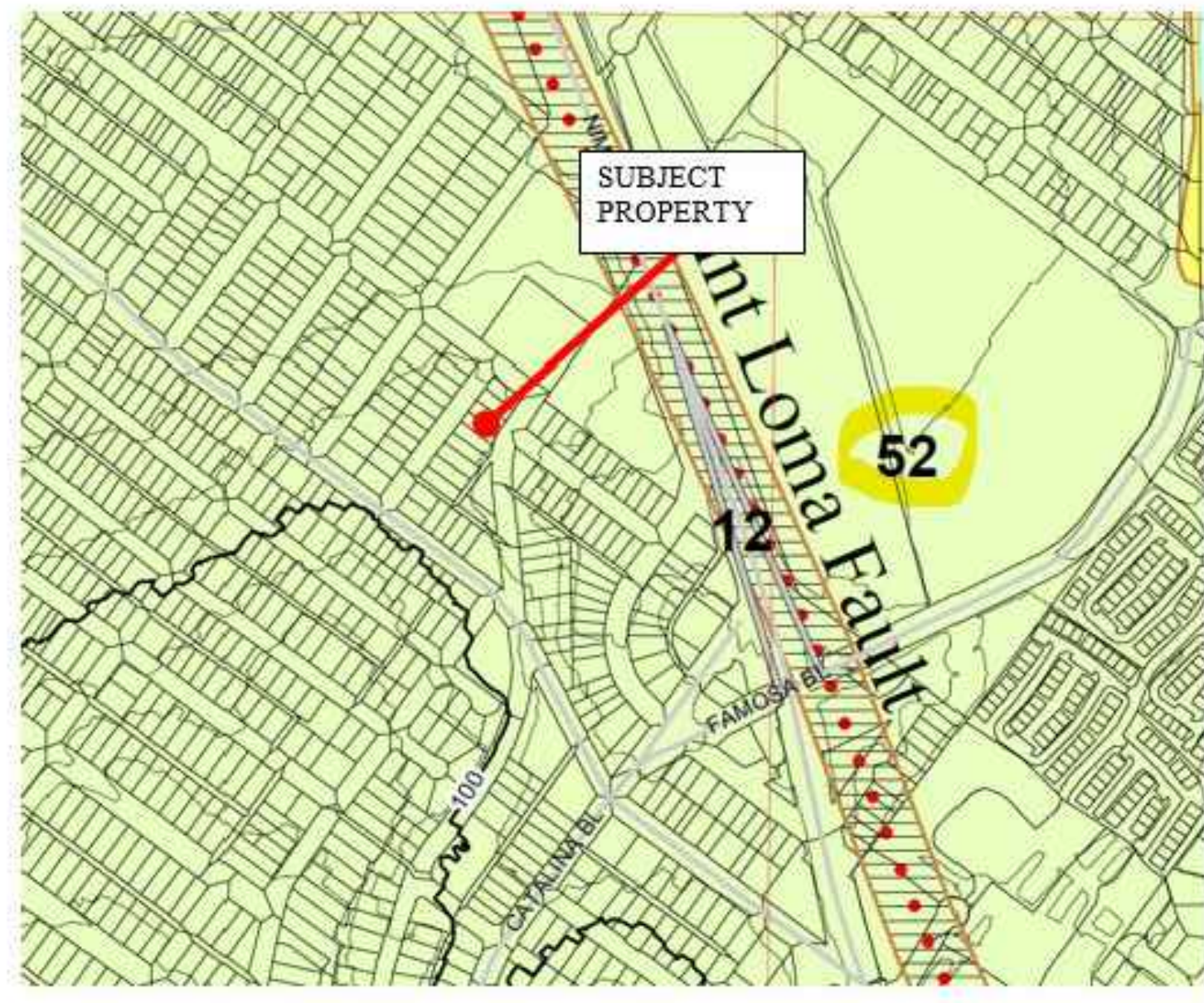


# RESIDENTIAL NEW CONSTRUCTION

## FRIEL'S RESIDENCE

2250 MENDOCINO BOULEVARD, SAN DIEGO - CA 92107

**COASTAL DEVELOPMENT PERMIT NOTE:**  
1- BOUNDARY & TOPOGRAPHIC SURVEY HAVE BEEN ATTACHED  
TO THIS SET TO FACILITATE GROUND ELEVATIONS AND SITE  
UTILITIES INFORMATION.



**Geographic Location:**

2250 Mendocino Boulevard,  
San Diego, CA 92107

52 Other level areas, gently sloping to steep terrain,  
favorable geologic structure, Low risk

City of San Diego  
**Seismic Safety Study  
Geologic Hazards and Faults**

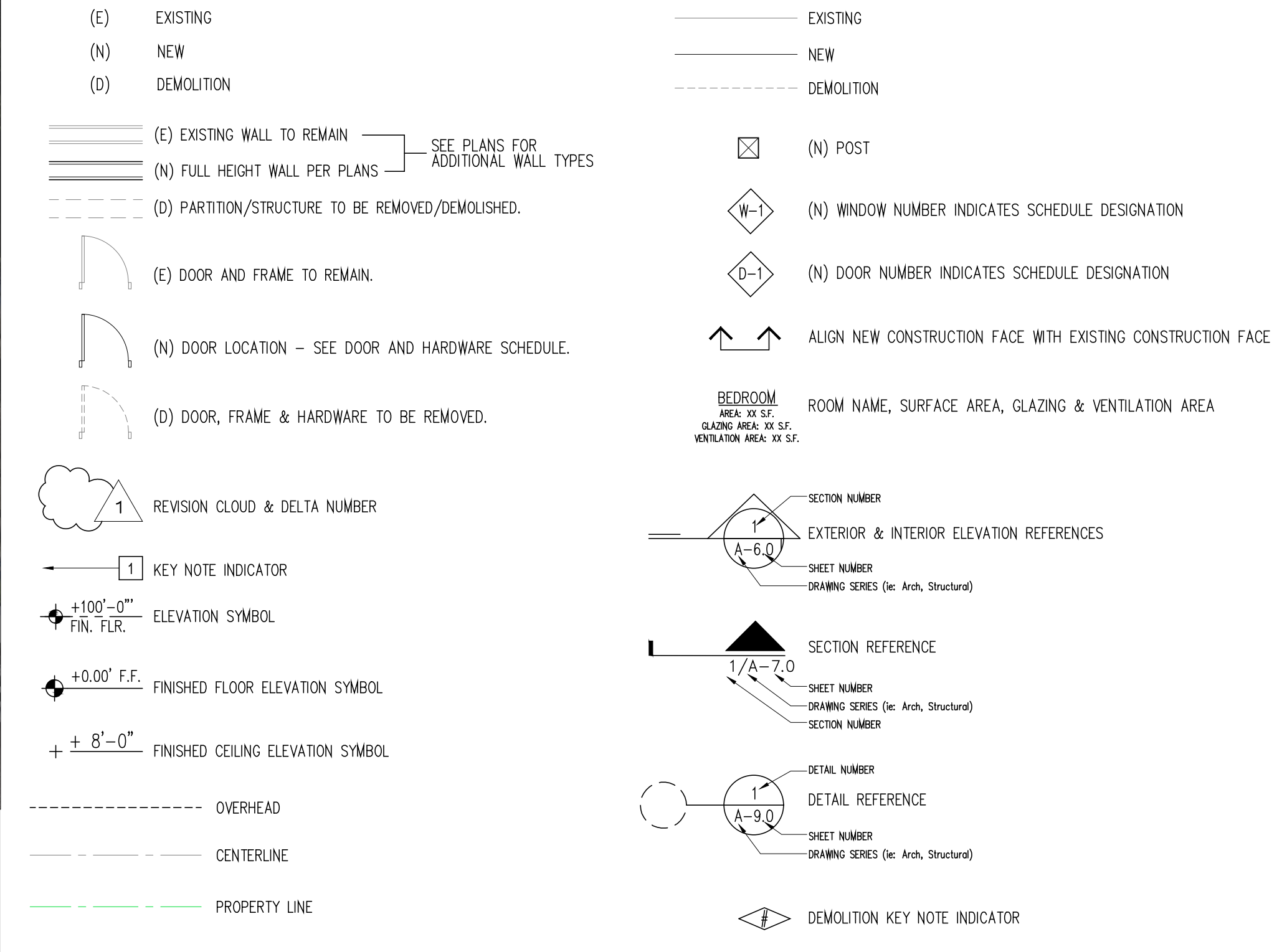
**Fig. 3**  
Tile 20



2250 Mendocino Boulevard - Preliminary Geotechnical Investigation  
SMT/JLVG 2/2/2024 Page 8 of 28



**DRAWING LEGEND:**



**CODES GOVERNING CONSTRUCTION:**

- THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES AND THE OF CITY SAN DIEGO MUNICIPAL CODE AMENDMENTS:
- 1- 2023 CALIFORNIA RESIDENTIAL CODE
- 2- 2023 CALIFORNIA BUILDING CODE
- 3- 2023 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 4- 2023 CALIFORNIA ELECTRICAL CODE
- 5- 2023 CALIFORNIA MECHANICAL CODE
- 6- 2023 CALIFORNIA PLUMBING CODE
- 7- 2023 CALIFORNIA FIRE CODE
- 8- 2023 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

**PROJECT DATA**

ADDRESS	2250 MENDOCINO BOULEVARD, SAN DIEGO - CA 92107
PROPOSED PRIMARY RESIDENCE (1ST & 2ND FLOOR)	2250 MENDOCINO BOULEVARD, SAN DIEGO - CA 92107
PROPOSED ACCESSORY DWELLING UNIT (3RD FLOOR)	2250 MENDOCINO BOULEVARD, SAN DIEGO - CA 92107
ASSESSORS PARCEL NUMBER	448-792-0400
LEGAL DESCRIPTION	BLK 16 LOT 4*
BASE ZONE	RM-1
OCCUPANCY GROUP (EXISTING)	R3 - RESIDENTIAL
OCCUPANCY GROUP (PROPOSED)	R3 - RESIDENTIAL
LOCAL JURISDICTION	CITY OF SAN DIEGO
FLOOD DESIGNATION	N/A
VERY HIGH FIRE HAZARD SEVERITY ZONE	YES
TYPE OF CONSTRUCTION	TYPE V-B
FLOOR AREA SUMMARY	4,720 S.F.
- LOT AREA	4,720 S.F.
- GROSS FLOOR AREA (G.F.A.):	511 S.F. (TO REMAIN) + 503 S.F. (TO DEMO) = 1,014 S.F.
- EXISTING BUILDINGS	3,038 S.F.
- PROPOSED CONSTRUCTION	3,549 S.F.
- G.F.A.	3,549 S.F.
- MAX. FLOOR AREA RATIO (F.A.R.):	NONE
- MAX. LOT COVERAGE	0.25 FOR 1-2 DWELLINGS (*TABLE 131-046, CHAPTER 13, ART. 1, DIV. 4 PAGE 24 S.D.M.C.)
- FLOOR AREA CALCULATION	511 S.F. + 1,272 S.F. = 1,783 S.F.; 1,783 S.F./4,720 S.F. = 0.377
(EXISTING BUILDING FOOTPRINT AREA + PROPOSED BUILDING FOOTPRINT AREA)	
- MAXIMUM PAVING AND HARDSCAPE AREA	DOES NOT APPLY
	0.75 > 0.377
BUILDING HEIGHT	30'
PARKING REQUIREMENTS	2 SPACES PER DWELLING, ADU EXEMPTED FROM PARKING REQUIREMENT. [PER TABLE 142-05B - "MIN. REQUIRED PARKING SPACES FOR SINGLE DWELLING UNITS"]
BUILT YEAR OF EXISTING STRUCTURES	2000
EXISTING TO REMAIN	2006
EXISTING TO DEMOLISH	2006
LANDSCAPE AREA	811 S.F.
GEOLOGIC HAZARD CATEGORY	GEOLOGIC HAZARD CATEGORY 52: OTHER LEVEL AREAS, GENTLY SLOPING TO STEEP TERRAIN, FAVORABLE GEOLOGIC STRUCTURE, LOW RISK.
EASEMENTS	NONE
TRANSIT STOPS	NONE
FIRE HYDRANTS (WITHIN 600')	NONE
DWELLINGS (PROPOSED AND EXISTING) SUBJECT TO A RECORDED COVENANT ORDNANCE OR LAW THAT RESTRICTS RENTS FOR VERY LOW-INCOME OR LOW-INCOME HOUSEHOLDS OR ARE OR WERE OCCUPIED BY VERY LOW-INCOME OR LOW-INCOME FAMILIES	NONE

**DISCRETIONARY PERMIT:**

- 1- COASTAL DEVELOPMENT PERMIT:

**SHEET INDEX**

T-1.0	TITLE SHEET	GENERAL SHEETS
C-1.0	BOUNDARY & TOPOGRAPHIC SURVEY	LAND SURVEY PLAN
A-1.0	DEMOLITION SITE PLAN & NEW SITE PLAN	ARCHITECTURAL PLANS
A-2.0	1ST & 2ND FLOOR PLAN	
A-2.1	3RD FLOOR PLAN AND ROOF PLAN	
A-3.0	EXTERIOR ELEVATION 1	
A-3.1	EXTERIOR ELEVATION 2	
A-3.2	EXTERIOR ELEVATION 3	
A-3.3	EXTERIOR ELEVATION 4	
A-4.0	CROSS SECTIONS 1	
A-4.1	CROSS SECTIONS 2	
A-5.0	BUILDING ENVELOPE ANALYSIS	

**ABBREVIATIONS:**

&	And	DBL	Double	FRF	Fireroof	MISC	Miscellaneous	S	South
∠	Angle	DEPT	Department	F.S.	Full Size/Fn. Slab	M.O.	Masonry Opening	S.C.	Solid Core
AI	Area	DF	Drinking Fountain	FT.	Foot or Feet	MTD	Mounted	SCHED.	Schedule
Centerline	Centerline	DET	Detail	FTG	Footing	MUL.	Mulch	S.D.	Susp Dispenser
⊘	Diameter or Round	DH	Double Hung Window	FURS	Furring	NO.	Number	SECT.	Section
#	Pound or Number	DIA	Diameter	FUT.	Future	(N)	New	SH	Shelf
ACOUS	Acoustical	DISP	Dispenser	GA.	Gauge	N.I.C.	Not In Contract	SHR	Shower
A.D.	Area Drain	DN	Down	CRB	Crab Bar	NOM.	Nominal	SHI	Sheet
ADJ	Adjustable	DM	Dimension	GL	Glass	N.T.S.	Not To Scale	SM	Similar
AGGR	Aggregate	D.O.	Door Opening	GRD	Ground	O.A.	Over All	SL	Slider Window
AL	Aluminum	DR	Door	GRV	Gravel	OS	Opaque	SPEC.	Specification
APPROX	Approximate	DWR	Drawer	GRD	Ground	O.S.	Over Size	SG	Square
ARCH	Architectural	DS	Downspout	GRV	Gravel	O.D.	Outside Diameter (Dim.)	S.S./S.T.	Stainless Steel
ASBL	Asbestos	D.S.P.	Dry Standpipe	GYP	Gypsum	OFF.	Officer	STD.	Standard
ASPH	Asphalt	DWG	Drawing	GWB	Gypsum Wall Bd.	OPF.	Officer	STL	Steel
BD	Board	E	East	H.B.	Hose Bibb	OPNG	Opening	STOR.	Storage
BITUM	Bituminous	EA	Each	H.C.	Hollow Core	OPP.	Opposite	STRUC.	Structural
BLDG	Building	E.J.	Expansion Joint	HWWD	Hardwood	PRCST.	Pre-cast	SUSP.	Suspended
BLK	Block	EL	Elevation	H.M.	Hollow Metal	PL	Plate	SYS.	Symmetrical
BLDG.	Blocking	ELEV.	Elevation	HWWE	Hardware	PLAM	Plastic Laminate	TRD.	Tread
BM	Beam	ELEC.	Electrical	H.M.	Hollow Metal	PLAS	Plaster	T.B.	Towel Bar
B.O.P.	Bottom of Panel	ENGR.	Engineering	HP	Hopper Window	PLV	Plaster	T.C.	Top of Curb
B.O.R.	Bottom of Revealed	ENCL.	Enclosure	HRT	Hour	PLVBD	Plywood	TEL	Telephone
BOT.	Bottom	ENC.	Enclosure	HGT	Height	PR	Pair	TER.	Terrazzo
CAB	Cabinet	E.P.	Electrical Panel board	I.D.	Inside Diameter	P.T.	Point	T. & G.	Tongue and Groove
C.B.	Catch Basin	EQ.	Equal	INSUL	Insulation	P.T.D	Paper Towel Dispenser	TRK	Truck
C.B.	Catch Basin	EQT.	Equipment	INT.	Interior	P.T.D/R	Combination Paper Towel Dispenser & Receptacle	T.O.C.	Top of Concrete
CER.	Ceramic	E.W.C.	Electric Water Cooler	INT.	Interior	DISP	Dispenser & Receptacle	T.O.P.	Top of Parapet
CER.	Ceramic	EXST.	Existing	JAN.	Janitor	P.T.R.	Paper Towel Receptacle	T.O.R.	Top of Revealed
C.I.	Cast Iron	EXP.	Expansion	JNT.	Joint	Q.T.	Quarry Tile	T.O.S.	Top of Slab
C.G.	Corner Guard	EXP.	Expansion	JNT.	Joint	R	Riser	T.O.P.	Top of Pavement
C.G.	Corner Guard	EXT	Exterior	KIT.	Kitchen	(R)	Relocate / Reuse	T.V.	Top of Wall
C.G.	Corner Guard	EX	Exterior	L.B.	Laboratory	R	Riser	TYP.	Typical
CLO.	Closet	F.X	Fixed Window	L.A.M.	Laminated	RAD.	Radius	UNF.	Unfinished
CLO.	Closet	F.A.	Fire Alarm	LAV.	Lavatory	R.D.	Roof Drain	UNO.	Unless Noted Otherwise
C.O.	Closed Opening	F.B.	Fire Bar	LCKR	Locker	R.O.	Rough Opening	U.N.	Unless Otherwise Noted
COL.	Column	F.D.	Fire Drain	LCKR	Locker	REF.	Reference	URT.	Urinal
C.O.M.	Center of Mass	FDN.	Foundation	L.T.	Light	REF/REFR	Refrigerator	VERT.	Vertical
CONC.	Concrete	F.E.	Fire Extinguisher	L.T.	Light	REG	Register	W/P.	Waterproof
CONN.	Connection	F.E.C.	Fire Extinguisher Cab	L.V.	Lavatory	REG	Register	W.C.	Water Closet
CONSTR.	Construction	F.H.C.	Fire Hose Cabinet	L.V.	Lavatory	REINP.	Reinforced	WD	Wood
CONT.	Continuous	F.G.	Finished Grade	L.V.	Lavatory	RESIL	Resilient	WH	Water Heater
C.O.R.	Continuous	FIN.	Finished	L.V.	Lavatory	REINP.	Reinforced	WO	Without
CORR.	Corridor	FL	Floor	L.V.	Lavatory	REINP.	Reinforced	W/O	Without
CORR.	Corridor	FL	Floor	L.V.	Lavatory	REINP.	Reinforced	WP	Waterproof
CSK.	Countersunk	FLASH	Flashing	L.V.	Lavatory	R.O.	Rough Opening	WT	Waterproof
CNT.	Counter	FLUR.	Fluorescent	L.V.	Lavatory	R.O.	Rough Opening	WT	Waterproof
CNT.	Counter	F.O.C.	Face of Concrete	L.V.	Lavatory	R.O.	Rough Opening	WT	Waterproof
CNT.	Counter	F.O.F.	Face of Finish	L.V.	Lavatory	R.O.	Rough Opening	WT	Waterproof
CNT.	Counter	F.O.S.	Face of Stud	L.V.	Lavatory	R.O.	Rough Opening	WT	Waterproof

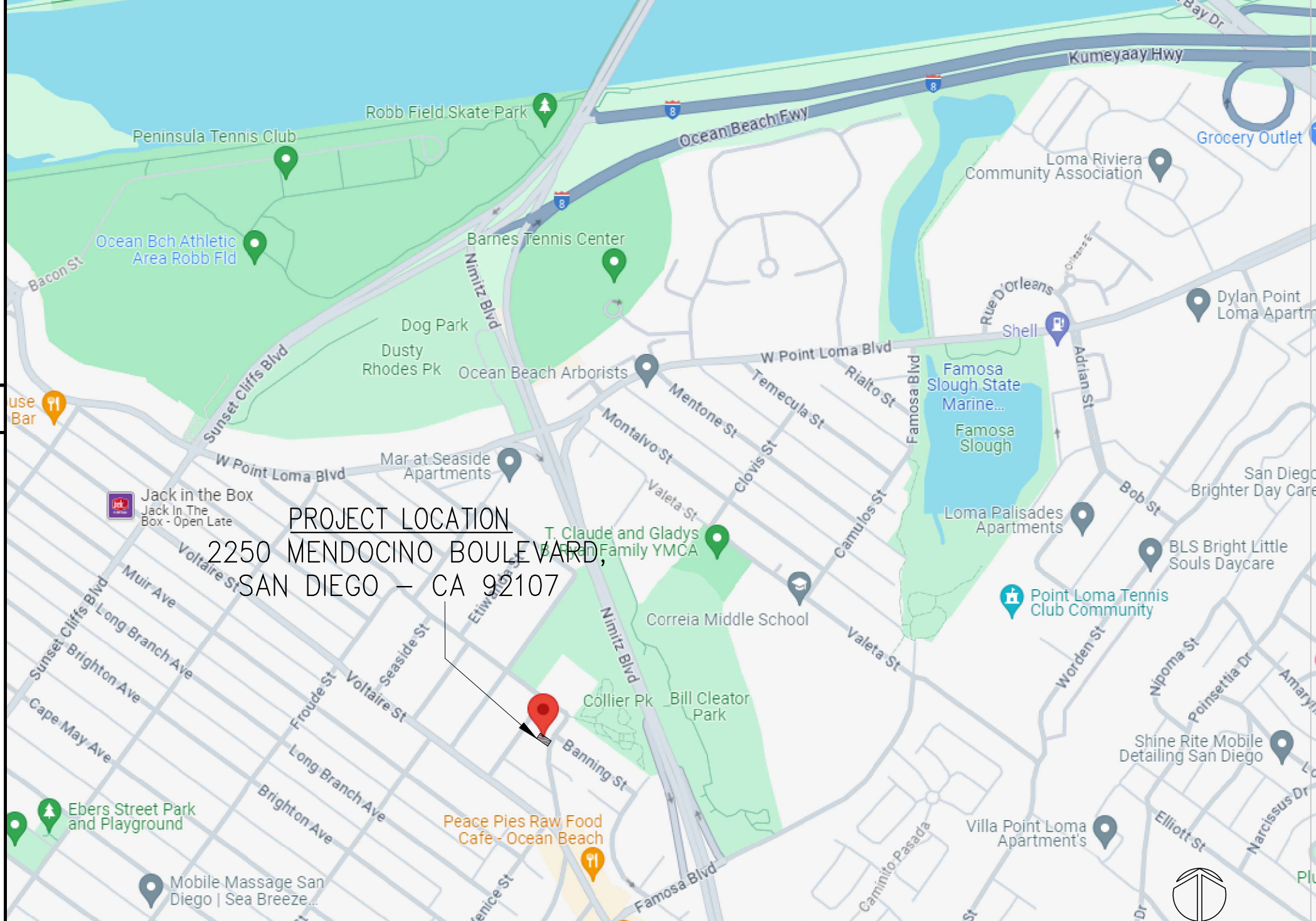
**PROJECT DIRECTORY**

OWNER:	LINDA FRIEL 4538 NEWPORT AVENUE SAN DIEGO, CA 92107
DESIGNER:	STUDIO BORKOSKY DESIGN LLC 4178 DECORO STREET # 17 LA JOLLA - CA 92037 PH: (858) 349 8892 MAXIMOBORKOSKY@GMAIL.COM
STRUCTURAL ENGINEER:	LAMAR ENGINEERING 809 BOWSPRIT RD #105 CHULA VISTA - CA 91914 PH: (619) 473 4045 LLABRADA@LAMARENG.COM

**SCOPE OF WORK**

THE SCOPE OF WORK FOR THIS PROJECT CONSISTS OF THE DEMOLITION OF ONE EXISTING HOUSE [511 S.F.], REGRADING OF 2,109 S.F. AND OBTAINING A BUILDING PERMIT FOR A 3-STORY RESIDENTIAL CONSTRUCTION [3,038 S.F.], CONSISTING IN A 2-CAR GARAGE (1ST FLOOR), PRIMARY RESIDENCE OF 1,397 S.F. (1ST & 2ND FLOOR) AND ACCESSORY DWELLING UNIT OF 880 S.F. (3RD FLOOR).	1,272 S.F.
1ST FLOOR	598 S.F.
2ND FLOOR	106 S.F.
3RD FLOOR	160 S.F.
TERRACE	222 S.F.
TERRACE	188 S.F.
BALCONIES	197 S.F.
TOTAL BUILT AREA	3,038 S.F.
TOTAL EXTERIOR AREA	767 S.F.

**VICINITY MAP**



TITLE SHEET

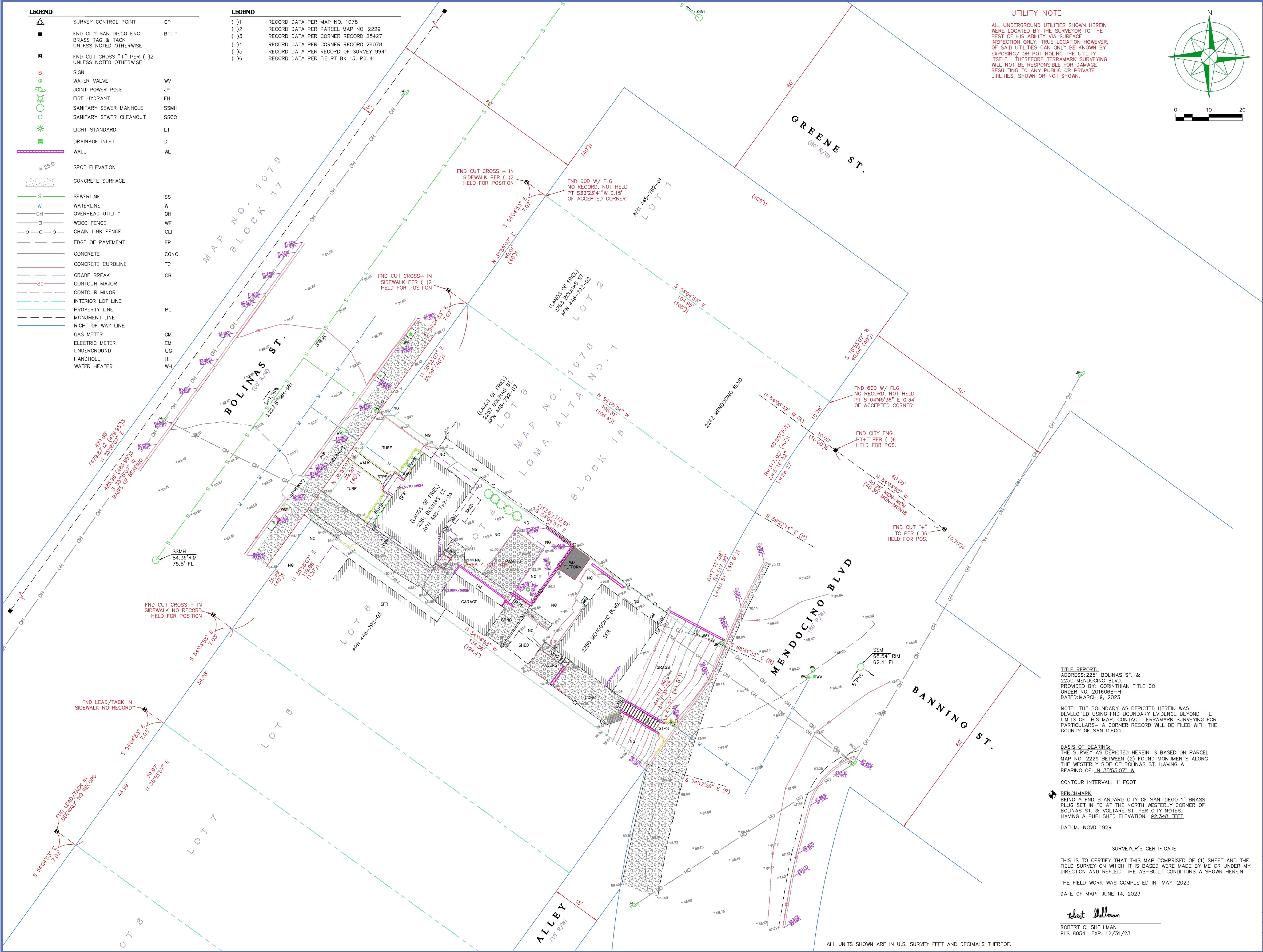
FRIEL'S RESIDENCE  
RESIDENTIAL NEW CONSTRUCTION  
2250 MENDOCINO BOULEVARD, SAN DIEGO, CA 92107

REVISIONS:  
DATE: 06/26/2023  
DRAWN: K.N.  
JOB No: 00-58  
SHEET No:  
**T-1.0**

LEGEND	
	SURVEY CONTROL POINT
	FND CITY SAN DIEGO ENG. BRASS TAG & TACK UNLESS NOTED OTHERWISE
	FND CUT CROSS "+" PER ( )2 UNLESS NOTED OTHERWISE
	SIGN
	WATER VALVE
	JOINT POWER POLE
	FIRE HYDRANT
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	LIGHT STANDARD
	DRAINAGE INLET
	WALL
	SPOT ELEVATION
	CONCRETE SURFACE
	SEWERLINE
	WATERLINE
	OVERHEAD UTILITY
	WOOD FENCE
	CHAIN LINK FENCE
	EDGE OF PAVEMENT
	CONCRETE
	CONCRETE CURBLINE
	GRADE BREAK
	CONTOUR MAJOR
	CONTOUR MINOR
	INTERIOR LOT LINE
	PROPERTY LINE
	MONUMENT LINE
	RIGHT OF WAY LINE
	GAS METER
	ELECTRIC METER
	UNDERGROUND
	HANDHOLE
	WATER HEATER

LEGEND	
( )1	RECORD DATA PER MAP NO. 1078
( )2	RECORD DATA PER PARCEL MAP NO. 2229
( )3	RECORD DATA PER CORNER RECORD 25427
( )4	RECORD DATA PER CORNER RECORD 26078
( )5	RECORD DATA PER RECORD OF SURVEY 9941
( )6	RECORD DATA PER TIE PT BK 13, PG 41
CP	SURVEY CONTROL POINT
BT+T	FND CITY SAN DIEGO ENG. BRASS TAG & TACK UNLESS NOTED OTHERWISE
( )2	FND CUT CROSS "+" PER ( )2 UNLESS NOTED OTHERWISE
WV	WATER VALVE
JP	JOINT POWER POLE
FH	FIRE HYDRANT
SSMH	SANITARY SEWER MANHOLE
SSCO	SANITARY SEWER CLEANOUT
LT	LIGHT STANDARD
DI	DRAINAGE INLET
WL	WALL
SS	SEWERLINE
W	WATERLINE
OH	OVERHEAD UTILITY
WF	WOOD FENCE
CLF	CHAIN LINK FENCE
EP	EDGE OF PAVEMENT
CONC	CONCRETE
TC	CONCRETE CURBLINE
GB	GRADE BREAK
PL	CONTOUR MAJOR
GM	CONTOUR MINOR
EM	INTERIOR LOT LINE
UG	PROPERTY LINE
HH	MONUMENT LINE
WH	RIGHT OF WAY LINE
GM	GAS METER
EM	ELECTRIC METER
UG	UNDERGROUND
HH	HANDHOLE
WH	WATER HEATER

**UTILITY NOTE**  
 ALL UNDERGROUND UTILITIES SHOWN HEREIN WERE LOCATED BY THE SURVEYOR TO THE BEST OF HIS ABILITY VIA SURFACE INSPECTION ONLY. TRUE LOCATION HOWEVER, OF SAID UTILITIES CAN ONLY BE KNOWN BY EXPOSING/ OR POT-HOLDING THE UTILITY ITSELF. THEREFORE TERRAMARK SURVEYING WILL NOT BE RESPONSIBLE FOR DAMAGE RESULTING TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN.



4275 37TH ST, SUITE 232  
 SAN DIEGO, CA 92105  
 PH: 619.280.0056  
 terramark.survey@gmail.com

**BOUNDARY & TOPOGRAPHIC SURVEY**  
 LOT 4, BLOCK 16, MAP NO. 1078 LOMA ALTA NO. 1  
 2251 BOLINAS ST. & 2250 MENDOCINO BLVD  
 (LOMA PORTAL DISTRICT)  
 SAN DIEGO, CA

NO.	
SHEET	C-1.0
SCALE:	1" = 10'
DWG:	23-018
DWG BY:	RCS
DATE:	6/14/23

**TITLE REPORT:**  
 ADDRESS: 2251 BOLINAS ST. & 2250 MENDOCINO BLVD  
 PROVIDED BY: CORINTHIAN TITLE CO.  
 ORDER NO. 2016058-HT  
 DATED: MARCH 9, 2023

**NOTE:** THE BOUNDARY AS DEPICTED HEREIN WAS DEVELOPED USING FND BOUNDARY EVIDENCE BEYOND THE LIMITS OF THIS MAP. CONTACT TERRAMARK SURVEYING FOR PARTICULARS- A CORNER RECORD WILL BE FILED WITH THE COUNTY OF SAN DIEGO.

**BASIS OF BEARING:**  
 THE SURVEY AS DEPICTED HEREIN IS BASED ON PARCEL MAP NO. 2229 BETWEEN (2) FOUND MONUMENTS ALONG THE WESTERLY SIDE OF BOLINAS ST. HAVING A BEARING OF: N 35°55'07" W

CONTOUR INTERVAL: 1' FOOT  
**BENCHMARK**  
 BEING A FND STANDARD CITY OF SAN DIEGO 1" BRASS PLUG SET IN TC AT THE NORTH WESTERLY CORNER OF BOLINAS ST. & VOLTAIRE ST. PER CITY NOTES HAVING A PUBLISHED ELEVATION: 92.348 FEET  
 DATUM: NGVD 1929

**SURVEYOR'S CERTIFICATE**  
 THIS IS TO CERTIFY THAT THIS MAP COMPRISED OF (1) SHEET AND THE FIELD SURVEY ON WHICH IT IS BASED WERE MADE BY ME OR UNDER MY DIRECTION AND REFLECT THE AS-BUILT CONDITIONS AS SHOWN HEREIN.  
 THE FIELD WORK WAS COMPLETED IN: MAY, 2023  
 DATE OF MAP: JUNE 14, 2023

*Robert Shellman*  
 ROBERT C. SHELLMAN  
 PLS 8054 EXP. 12/31/23

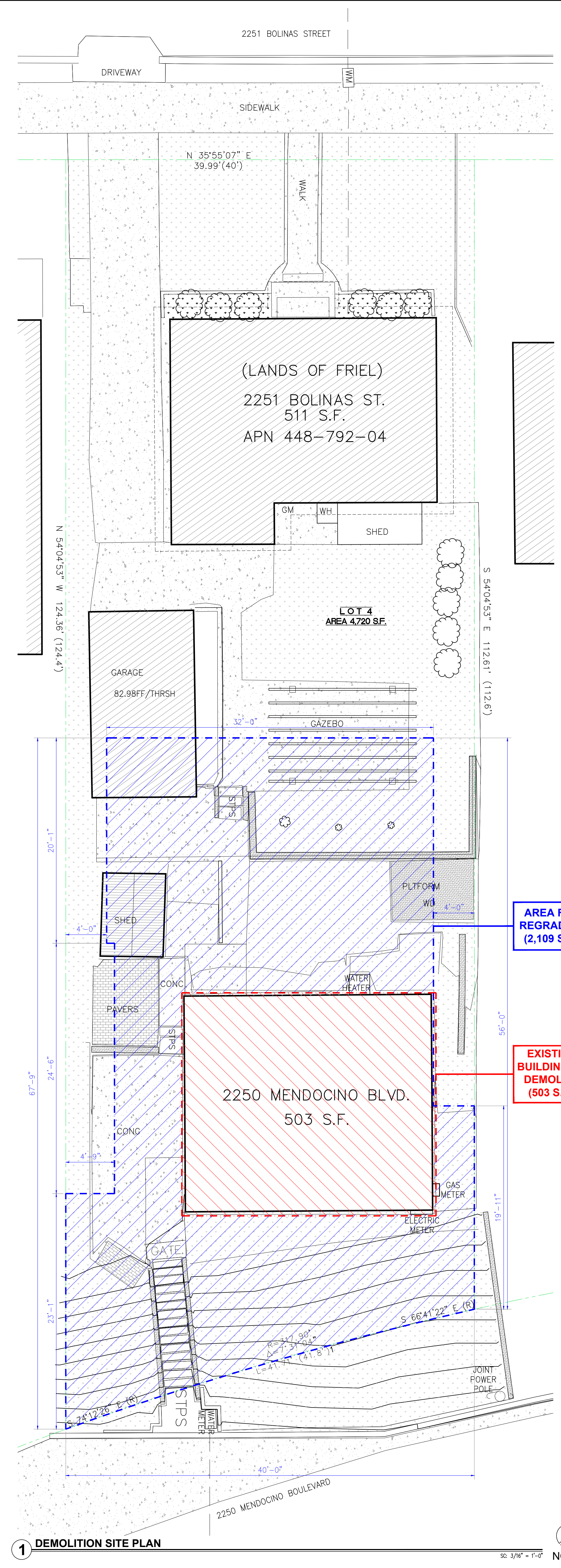
ALL UNITS SHOWN ARE IN U.S. SURVEY FEET AND DECIMALS THEREOF.

**DEMOLITION GENERAL NOTES:**

- DEMOLITION SHALL INCLUDE REMOVAL OF ALL EXISTING WALLS, STRUCTURES, FENCES, ASPHALT AND / OR CONCRETE PAVING, ETC., AS REQUIRED FOR NEW CONSTRUCTION.
- DUE TO THE UNPREDICTABLE NATURE OF DEMOLITION AND POSSIBILITY OF DISCOVERING UNFORESEEN DEMOLITION PROBLEMS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO STUDY THE FULL INTENT OF REQUIRED DEMOLITION BY INCORPORATING A COMPLETE ANALYSIS OF THE PROPOSED CONSTRUCTION DOCUMENTS.
- EACH AREA OF DEMOLITION IS TO BE CLEAR OF DEBRIS AND IS TO BE SHEET CLEAN. METHOD OF DEBRIS REMOVAL MUST BE IDENTIFIED BY THE CONTRACTOR AND APPROVED BY OWNER.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS FOR ACCURACY AND CONFIRMING THAT WORK CAN BE DONE AS SHOWN BEFORE PROCEEDING WITH ANY DEMOLITION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION PROBLEMS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM STUDIO BORKOSKY DESIGN BEFORE PROCEEDING WITH WORK IN QUESTION OR WITH RELATED WORK.
- WHERE DEMOLITION OCCURS: REPAIR, SAND, TEXTURE (IF APPLICABLE) AND PREP REMAINING CONSTRUCTION TO MATCH ADJACENT SURFACE.
- DEMOLITION PLAN SHOWS APPROXIMATE LAYOUT OF EXISTING BUILDING AND IS NOT INTENDED TO REPRESENT "AS-BUILT" CONDITIONS. FOLLOW PROCEDURES OUTLINED IN THE PROJECT MANUAL FOR REQUIREMENTS TO VISIT SITE AND OTHERWISE BECOME FAMILIAR WITH ACTUAL CONDITIONS WHEN BIDDING THE WORK.
- PRIOR TO ANY DEMOLITION WORK, CONTRACTOR MUST FIELD VERIFY ALL EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL WORK LOCATED ON SITE.
- WHERE EXISTING PLUMBING, MECHANICAL, OR ELECTRICAL FIXTURES AND ITEMS HAVE BEEN REMOVED, PULLS AND CAP PIPE LINES, CONDUITS, ETC. AS APPLICABLE AND NECESSARY TO CONCEAL THE ABANDONED ITEMS.
- PROVIDE ALL NECESSARY SHORING, BRACING, AND SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURE OR ELEMENT TO BE DEMOLISHED, AND ADJACENT STRUCTURE OR ELEMENT SHOWN TO REMAIN. SHORING AND BRACING SHALL BE DESIGNED BY CONTRACTOR'S PROFESSIONAL ENGINEER LICENSED IN THE APPLICABLE JURISDICTION.
- REMOVE ALL EXISTING OBSOLETE ROOF MOUNTED MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT AND DEVICES IN THEIR ENTIRETY.
- REMOVE ALL EXISTING OBSOLETE PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT IN THEIR ENTIRETY THROUGHOUT, PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN.
- REMOVE ALL EXISTING OBSOLETE MISCELLANEOUS NON-LOAD BEARING ITEMS IN THEIR ENTIRETY THROUGHOUT, INCLUDING (BUT NOT LIMITED TO) PLASTER AND DRYWALL PARTITIONS, DOORS, FRAMES, SUFFITS, STUDS, FLOORING, INSULATION, CEILING SUSPENSION SYSTEMS, ETC. PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN.

**EXISTING SITE PLAN GENERAL NOTES:**

- THIS EXISTING SITE PLAN IS PROVIDED FOR OVERALL SITE REFERENCE. THE LOCATION OF ITEMS INCLUDED IN THIS SET OF PLANS IS FOR BUILDING DEPARTMENT USE ONLY. IT IS NOT INTENDED TO BE USED FOR THE CONSTRUCTION OF ANY SITE IMPROVEMENTS. SEE PREVIOUS PLANS (SEPARATE PERMIT) PREPARED BY THE CIVIL ENGINEER AT SHEET C-1.0 FOR ALL SITE IMPROVEMENTS.
- THE EXISTING SURVEY MONUMENTS, IF ANY, SHALL BE REFERENCED ON THE SITE PLAN AND SHALL BE PROTECTED IN-PLACE. IF ANY MONUMENT IS DISTURBED OR DESTROYED, IT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AND A CORNER RECORD SHALL BE FILED WITH THE COUNTY PRIOR TO RELEASE OF SECURITIES.
- EXISTING LOT DRAINAGE, AREA DRAINS, WITH SUBSURFACE DRAINS, TO REMAIN UNALTERED, WHERE APPLICABLE.
- CONTRACTOR SHALL CONFIRM ALL EXISTING AND PROPOSED UTILITY LOCATIONS PRIOR TO DEMOLITION AND GRADING.
- SEE CIVIL PLANS AT SHEET C-1.0 FOR ALL SITE DIMENSIONS NOT SHOWN ON THIS PLAN, LOT LINE DIMENSIONS, DRAINAGE ELEVATIONS, SITE UTILITIES, CURB AND DETAILS. VERIFY ALL DIMENSIONS WITH CIVIL DRAWINGS.
- SEE CIVIL DRAWINGS FOR EXISTING SITE FEATURES, INCLUDING BUT NOT LIMITED TO: TOPOGRAPHIC CONTOURS, EASEMENTS, FIRE HYDRANTS, STREET LIGHTS, TRAFFIC LIGHTS AND TRAFFIC SIGNAL EQUIPMENT, ADJACENT SITE BUILDING FOOTPRINTS, AND DRIVEWAYS.



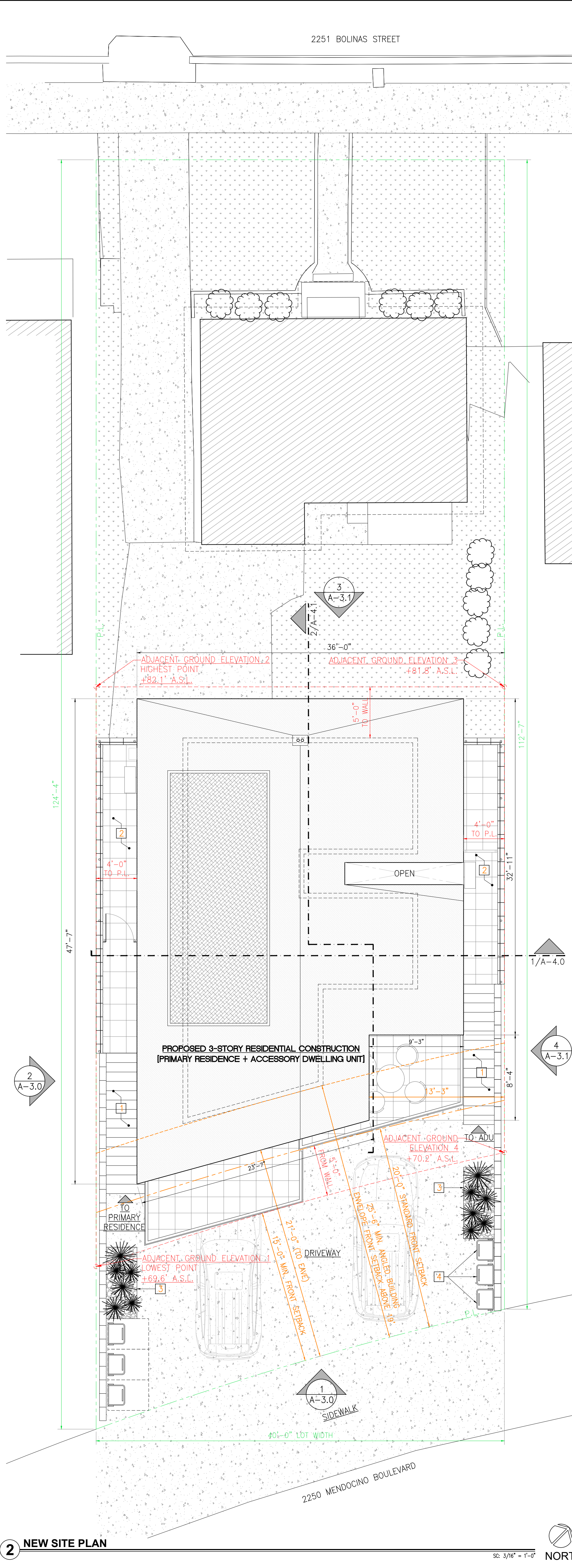
**AREA FOR REGRADING (2,109 S.F.)**

**EXISTING BUILDING TO DEMOLISH (503 S.F.)**

**STORM WATER QUALITY CONSTRUCTION BEST MANAGEMENT PRACTICES GENERAL NOTES (SWQMP)**

- PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:
- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMPs AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMPs.
  - THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
  - ALL CONSTRUCTION BMPs SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
  - THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
  - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPs AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.
  - THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREETS AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
  - THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPs THAT ARE ACCEPTABLE TO THE RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
  - THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SIALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
  - IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
  - EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON-SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPs WHEN RAIN IS IMMINENT.
  - THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO WORKING ORDER YEAR ROUND.
  - THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LOADED DISCHARGES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
  - ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.
  - AS NECESSARY, THE RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPs RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
  - THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMPs DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPs AS SOON AS POSSIBLE AS SAFETY ALLOWS.
  - CONSTRUCTION ENTRANCE AND EXIT AREA TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASIA FACT SHEET TO-10R CALTRANS FACT SHEET TO-0R TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10 OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BYPASSING THE ENTRANCE.
  - NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".
- THE CITY OF SAN DIEGO | STORM WATER STANDARDS | JULY 2018 EDITION PART 2: CONSTRUCTION BMP STANDARDS

**PLAN-CHECKER'S NOTE:**  
THE CITY OF SAN DIEGO MUNICIPAL CODE SECTIONS 12.0104, 43.0310, 129.0104(A)(4), AND 142.0220, PERMITS ARE REQUIRED TO BE INSPECTED BY CITY INSPECTION STAFF TO ENSURE COMPLIANCE WITH ISSUED CONSTRUCTION PERMIT. THIS INCLUDES, BUT NOT LIMITED TO, STORM WATER COMPLIANCE INSPECTION REQUIREMENTS ASSOCIATED WITH EACH PERMIT.



**2 NEW SITE PLAN**

**SITE PLAN KEY NOTES:**

- SITE CONCRETE STAIRS OVER EXISTING GRADE
- SIDE-YARD PATIOS
- FRONT-YARD PLANTERS (SEE LANDSCAPE PLAN 1-1.0)
- TRASH CONTAINERS FOR A.D.U. (ORGANIC/COMPOST, RECYCLING & TRASH)

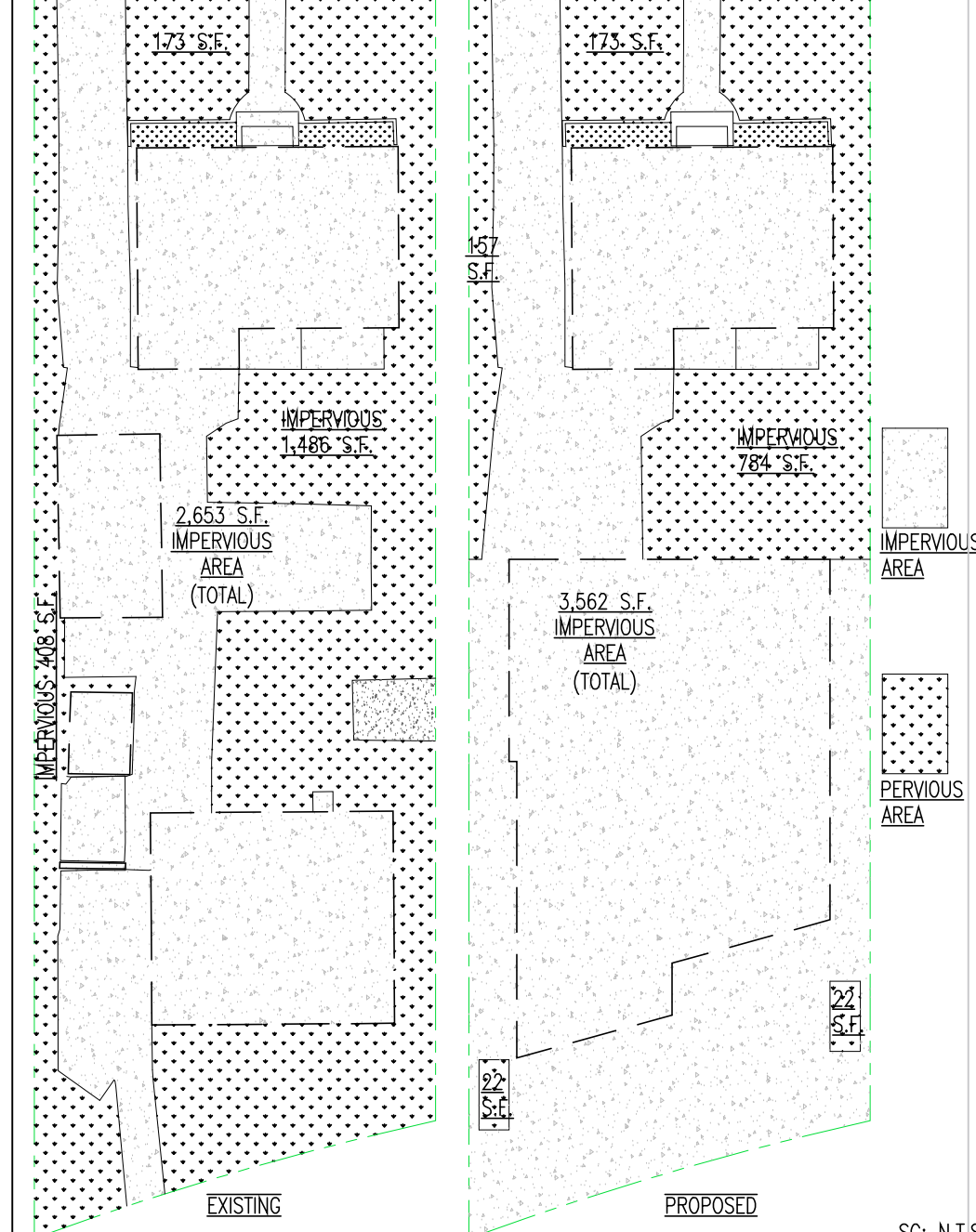
**GENERAL NOTES:**

- ELECTRIC FEEDS AND METER SHALL MEET ALL CLEARANCE & TOLERANCES REQUIRED BY LOCAL UTILITY COMPANY. CONTACT SDGE PRIOR TO DIGGING - VERIFY REQUIREMENTS FOR THIS PROJECT.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL SURFACE WATER DRAINS AWAY FROM BUILDING AND PROPERTY LINE TO LANDSCAPE 5% SLOPE MAX.
- HOSE BIBBS MUST HAVE APPROVED BACK-FLOW PREVENTION DEVICES.
- RECYCLING: A MINIMUM OF 65% OF CONSTRUCTION WASTE IS TO BE RECYCLED (CCC SECTION 4.408.1.)
- ALL UTILITY CONNECTIONS SHALL BE DESIGNED TO COORDINATE WITH THE ARCHITECTURAL ELEMENTS OF THE SITE SO AS NOT TO BE EXPOSED EXCEPT WHERE NECESSARY. LOCATIONS OF PAD MOUNTED TRANSFORMERS, METER BOXES, AND OTHER UTILITY RELATED ITEMS SHALL BE INCLUDED IN THE SITE PLAN SUBMITTED.
- ROOF WATER TO BE DOWN-SPOUTED TO PERMEABLE SURFACES.
- ALL NEW ON-SITE UTILITIES SHALL BE PLACED UNDERGROUND U.N.O. SEE CIVIL PLANS.
- CONTRACTOR SHALL ENSURE ALL SURFACE WATER SHALL DRAIN AWAY FROM BUILDING. SEE CIVIL DRAWINGS.
- OVERHANGING OBSTRUCTIONS: ANY OBSTRUCTION THAT OVERHANGS A PEDESTRIAN'S WAY SHALL BE A MINIMUM OF 8' ABOVE THE WALKING SURFACE AS MEASURED FROM THE BOTTOM OF THE OBSTRUCTION.

LAND DISTURBANCE CALCULATION	NEW AREA	EXISTING AREA	TOTAL
PERVIOUS AREA	-	2,067 S.F.	1,158 S.F.
IMPERVIOUS AREA	909 S.F.	2,853 S.F.	3,562 S.F.
% PERVIOUS LAND [PERVIOUS/LOT SIZE]	1,158 S.F./4,720 S.F. = 0.25 = 25%		
% LAND DISTURBANCE (NEW AREA) [IMPERV./LOT SIZE]	3,562 S.F./4,720 S.F. = 0.75 = 75%		

\* IMPERVIOUS AREA, BUILDINGS FOOTPRINT & ALL HARDSCAPE (DRIVEWAY, WALKWAYS, PATIOS)

**PERVIOUS & IMPERVIOUS AREA OUTLINE:**



**COASTAL DEVELOPMENT PROJECT NUMBER:**

XXXXXXXXXX

THE AMERICAN INSTITUTE OF ARCHITECTS  
**SBD**  
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Address: 4750 Decoy Street #17  
San Diego, CA 92121  
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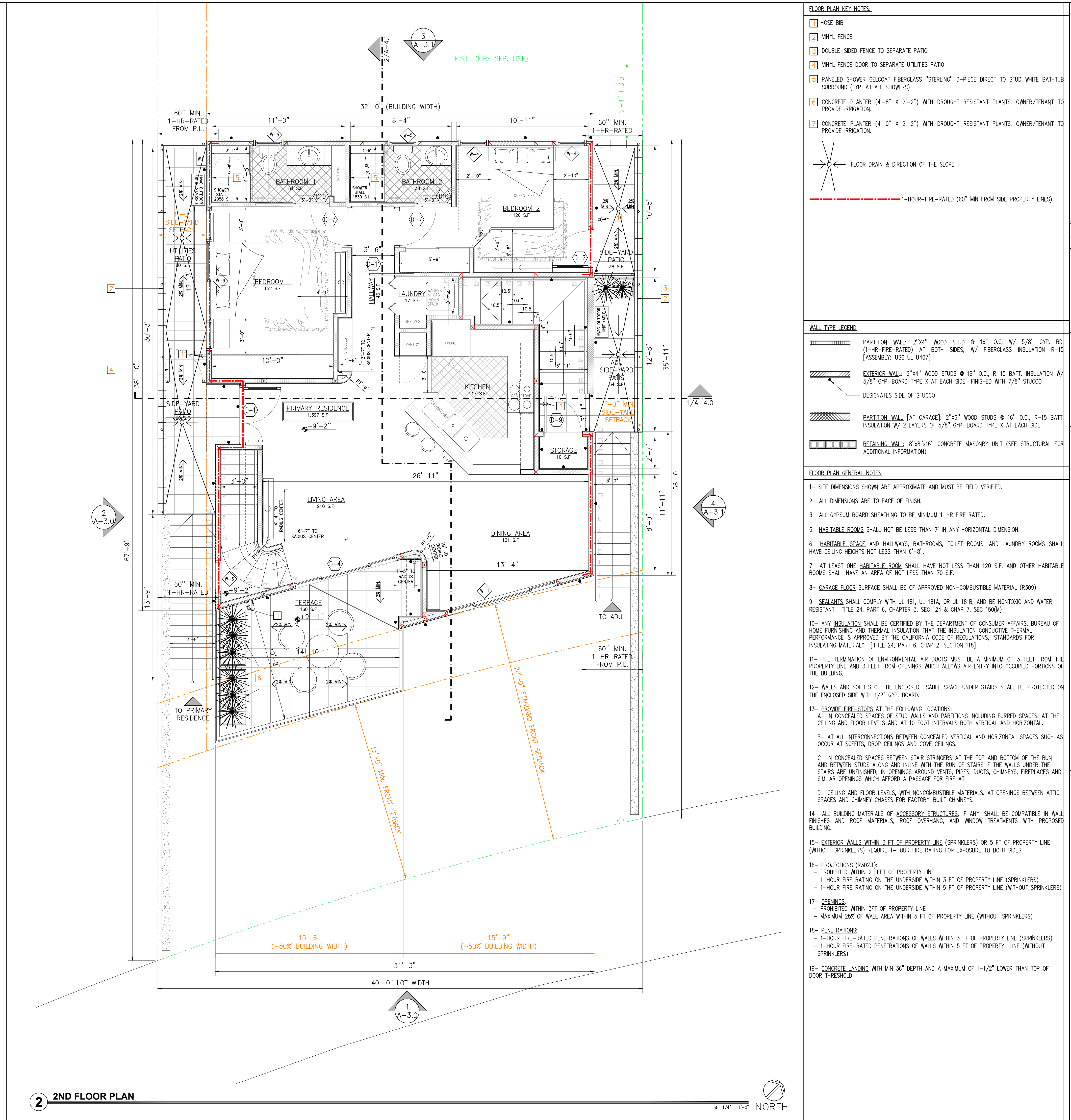
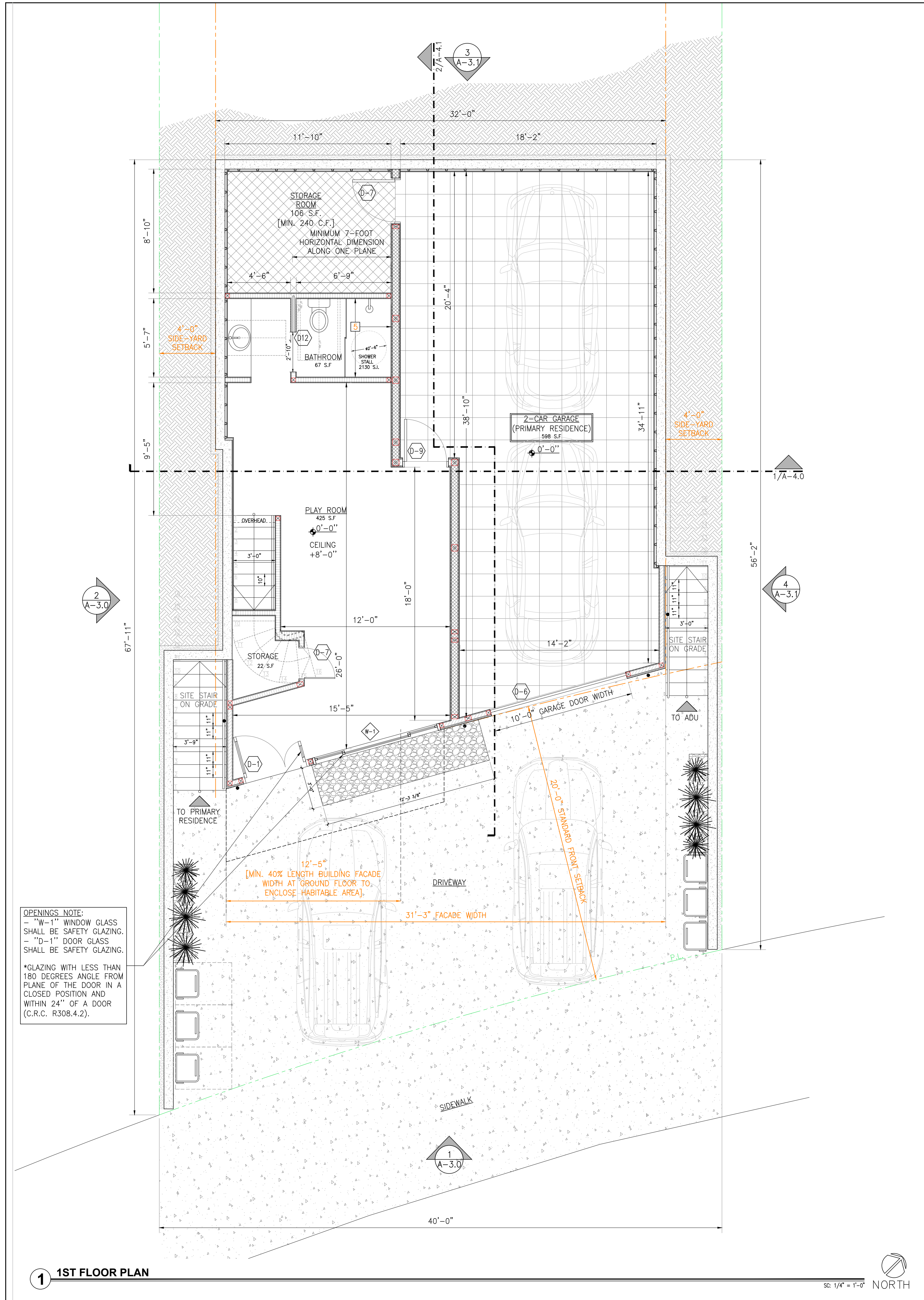
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**DEMOLITION & NEW SITE PLAN**

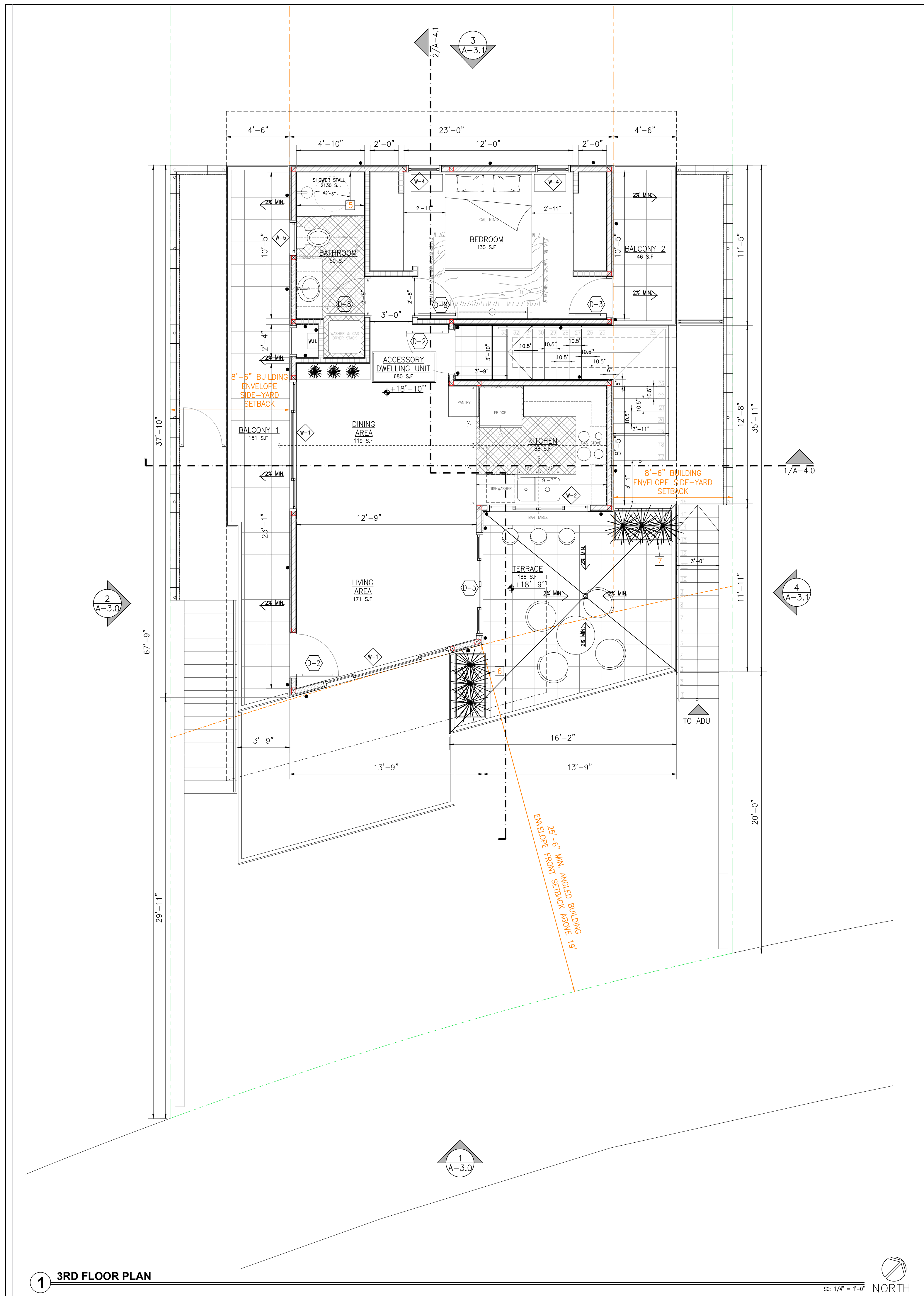
**FRIEL'S RESIDENCE**  
RESIDENTIAL NEW CONSTRUCTION  
2250 MENDOCINO BOULEVARD, SAN DIEGO, CA 92107

REVISIONS:  
DATE: 06/26/2023  
DRAWN: K.N.  
JOB NO: 00-58  
SHEET No:

**A-1.0**

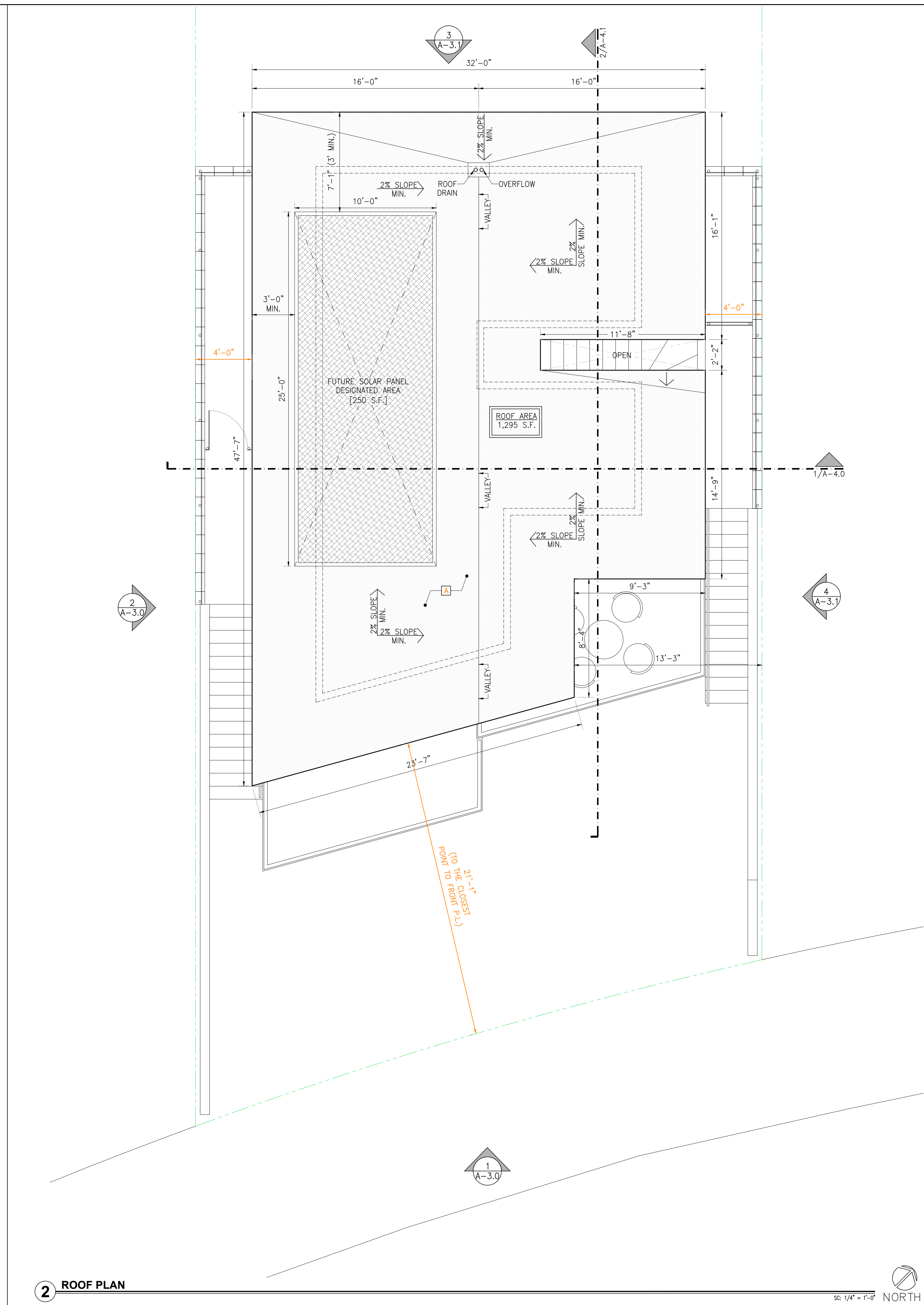


<p><b>CONSTRUCTION REQUIREMENTS:</b></p> <ol style="list-style-type: none"> <li>EXTERIOR WALL SURFACES MUST BE NON-COMBUSTIBLE, IGNITION-RESISTANT MATERIAL, SUCH AS CEMENT PLASTER, MASONRY, AND CEMENT-FIBER BOARD.</li> <li>PAPER FACED INSULATION IS NOT PERMITTED IN ATTICS OF VENTILATED SPACES DUE TO THE POTENTIAL OF EMBERS IGNITING THE PAPER. FOL-BACKED OR UN-FACED FIBERGLASS BATTS AND BLANKETS ARE BETTER SUITED TO CONDITIONS OF POTENTIAL FIRE HAZARDS. USE FOL-BACKED INSULATION IN AREAS WHERE A VAPOUR BARRIER IS REQUIRED.</li> <li>PATIO COVERS AND OTHER ROOF PROJECTIONS AND ATTACHMENTS MUST BE ONE- OR A COMBINATION - OF THE FOLLOWING:           <ol style="list-style-type: none"> <li>NON-COMBUSTIBLE CONSTRUCTION (E.G. CONCRETE, METAL)</li> <li>PROTECTED BY ONE-HOUR FIRE-RESISTIVE MATERIALS (E.G., CEMENT PLASTER, FIBER-CEMENT BOARD)</li> <li>APPROVED FIRE-RETARDANT TREATED MATERIALS (FACTORY-APPLIED FIRE RETARDANT, PRESSURE-TREATED LUMBER LISTED FOR EXTERIOR USE, INSTALLED PER LISTING)</li> <li>HEAVY TIMBER CONSTRUCTION (MINIMUM 2x 12x DECKING, 4x4x RAFTERS AND BEAMS, 3x LEDGERS, AND 6x6 COLUMNS / POSTS)</li> </ol> </li> <li>METAL FRAMING CAUSE AND SPACING PER WALL SCHEDULE AND PER STUD MANUFACTURER LIMITS.           <ol style="list-style-type: none"> <li>ALL EXTERIOR WALL FRAMING TO BE 18 GA. TYP.</li> <li>ALL FULL HEIGHT METAL FRAMING TO BE 20GA MIN. U.N.O., TYPICAL.</li> </ol> </li> <li>PROVIDE WATER-RESISTANT GYPSUM BOARD AT ALL DAMP LOCATIONS &amp; CEMENT BACKER BOARD AT ALL INTERIOR CERAMIC WALL TILE LOCATIONS.</li> <li>ALL WALL SURFACES, ADJACENT TO HANDRAILS WILL BE FREE OF SHARP OR ABRASIVE ELEMENTS.</li> <li>WALL INSULATION TO BE MIN. R-15, BATT TYPE. CEILING INSULATION TO BE R-30, NON-PAPER FACED.</li> <li>ALL FRAMING LUMBER TO BE D.F./L. #2 OR BTR. - TIMBERS TO BE D.F./L. #1 OR BTR. - SELECT.</li> <li>DRYWALL SHALL BE 1/2" C.W.B. (ALL DAMP AREAS TO USE 1/2" OR 5/8" C.W.B.) W/ 50 COOLERS @ 4" E.N. &amp; S.N. &amp; 8" O.C. FAN OR 1 1/4" DW SCREENS @ 6" O.C. E.N. &amp; S.N. &amp; 12" O.C. F.A. MIN.</li> </ol>	<p><b>PLUMBING NOTES:</b></p> <ol style="list-style-type: none"> <li>COMBUSTION AIR FOR FUEL BURNING WATER HEATERS SHALL BE PROVIDED IN ACCORDANCE WITH THE PLUMBING CODE.</li> <li>THE CONTROL VALVES IN SHOWERS, TUB/SHOWERS, BATHROOMS, AND BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES. CPC SECTIONS 408, 409, 410.</li> <li>WATER CONSERVING FIXTURES: NEW WATER CLOSETS SHALL USE NO MORE THAN 1.28 GALLONS OF WATER PER FLUSH, KITCHEN FAUCETS MAY NOT EXCEED 1.8 GPM. LAVATORIES ARE LIMITED TO 1.2 GPM AND SHOWERHEADS MAY NOT EXCEED 1.8 GPM. CPC SECTIONS 407, 408, 411, 412.</li> <li>INSTANTANEOUS WATER HEATERS SHALL HAVE ISOLATION VALVES ON BOTH THE COLD AND THE HOT WATER PIPING LEAVING THE WATER HEATER COMPLETE WITH HOSE BIBS OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED. ES 110.3</li> <li>BELOW GRADE HOT WATER PIPING IS REQUIRED TO BE INSTALLED IN A WATERPROOF AND NON-CRUSHABLE SLEEVE OR CASING THAT ALLOWS FOR REPLACEMENT OF BOTH THE PIPING AND INSULATION.</li> <li>PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC)</li> <li>ALL DOMESTIC HOT WATER PIPING TO HAVE THE FOLLOWING MINIMUM INSULATION INSTALLED: 3/4" PIPE (1/2" INSULATION), 3/4" PIPE (1" INSULATION), 1" TO 1-1/2" PIPE (1-1/2" INSULATION). CPC 608.11 &amp; ES 150.0.3. ADDITIONALLY, THE 3/4" HOT WATER PIPE TO THE KITCHEN SINK AND THE COLD WATER PIPE WITHIN 5' OF THE WATER HEATER BOTH REQUIRE 1" MINIMUM INSULATION (ES 150.0.4)</li> <li>PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBS.</li> <li>WATER CLOSET WASTE LINES TO BE LOCATED IN WALL CHASE, NOT IN EXTERIOR WALLS.</li> <li>6" HIGH NON-ABSORBENT SURFACE AT SHOWERS WALLS (R307.2)</li> <li>2-1/2" MIN CLEAR IN FRONT OF TOILETS.</li> </ol>	<p><b>GREEN BUILDING CODE REQUIREMENTS:</b></p> <ol style="list-style-type: none"> <li>ELECTRICAL VEHICLE SUPPLY EQUIPMENT (EVSE) ROUGH-IN ONLY IS REQUIRED IN ONE AND TWO FAMILY DWELLINGS AND TOWNHOMES WITH ATTACHED GARAGES. THE EVSE ROUGH-IN CONSISTS OF A MINIMUM 1" CONDUIT EXTENDING FROM THE MAIN PANEL TO A JUNCTION BOX WHERE THE EVSE RECEPTACLE BOX WILL BE PROVIDED. THE MAIN SERVICE PANEL MUST BE SIZED TO ACCOMMODATE A FUTURE 208/240 VOLT 40 AMPERE DEDICATED BRANCH CIRCUIT. CALIFORNIA GREEN CODE 4.106.4.</li> <li>STORM WATER DRAINAGE/RETENTION DURING CONSTRUCTION PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING: A. RETENTION BASINS; B. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD. CCC SECTION 4.106.2.</li> <li>GRADING AND PAVING: SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS (SWALES, WATER COLLECTION, FRENCH DRAINS, ETC.) CCC SECTION 4.106.3. EXCEPTION: ADDITIONS NOT ALTERING THE DRAINAGE PATH.</li> <li>INDOOR WATER USE SHALL COMPLY WITH THE FOLLOWING TABLE PER CCC SECTION 4.303.1.</li> </ol> <p><b>FIXTURE FLOW RATES</b></p> <table border="1"> <thead> <tr> <th>FIXTURE TYPE</th> <th>MAXIMUM FLOW RATE</th> </tr> </thead> <tbody> <tr> <td>A- WATER CLOSETS</td> <td>1.28 GALLONS/FLUSH</td> </tr> <tr> <td>B- URINALS (WALL-MOUNTED)</td> <td>0.125 GALLON/FLUSH</td> </tr> <tr> <td>C- URINALS (OTHERS)</td> <td>0.5 GALLON/FLUSH</td> </tr> <tr> <td>D- SHOWERHEADS</td> <td>1.8 GPM @ 80 PSI</td> </tr> <tr> <td>E- LAVATORY FAUCETS</td> <td>1.2 GPM @ 60 PSI</td> </tr> <tr> <td>F- LAVATORY FAUCETS</td> <td>1.2 GPM @ 80 PSI</td> </tr> <tr> <td>G- METERING FAUCETS</td> <td>0.25 GALLONS PER CYCLE</td> </tr> </tbody> </table> <p>5- WHEN A SHOWER IS PROVIDED WITH MULTIPLE SHOWER HEADS, THE SUM OF FLOW TO ALL THE HEADS SHALL NOT EXCEED 1.8 GPM @ 80 PSI, OR THE SHOWER SHALL BE DESIGNED SO THAT ONLY ONE HEAD IS ON AT A TIME. CCC SECTION 4.303.1.3.2.</p> <p>6- LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS. CCC SECTION 4.304.1.</p> <p>7- RECYCLING: A MINIMUM OF 65% OF CONSTRUCTION WASTE IS TO BE RECYCLED. CCC SECTION 4.408.1.</p> <p>8- OPERATION AND MAINTENANCE MANUAL: BUILDER IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FOR MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION. CCC SECTION 4.410.1.</p> <p>9- GAS FIREPLACE(S) SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE, WOODSTOVE OR PELLET STOVES MUST BE US EPA PHASE II RATED APPLIANCES. CCC SECTION 4.503.1.</p> <p>10- POLLUTANT CONTROL:    A- DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED. CCC SECTION 4.504.1.    B- VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3 AND 4.504.5 FOR: ADHESIVES, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS. CCC SECTION 4.504.2.</p> <p>11- INTERIOR MOISTURE CONTROL:    A- CONCRETE SLABS SHALL BE PROVIDED WITH A CAPILLARY BREAK. CCC SECTION 4.505.2.1.    B- MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS CLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED: BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE METHODS LISTED IN CCC SECTION 4.505.3.</p> <p>12- INDOOR AIR QUALITY: BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED DIRECTLY TO THE OUTSIDE AND CONTROLLED BY A HUMIDISTAT. CCC 4.506.1.</p> <p>13- WRITTEN VERIFICATION: PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. CCC 102.3.</p>	FIXTURE TYPE	MAXIMUM FLOW RATE	A- WATER CLOSETS	1.28 GALLONS/FLUSH	B- URINALS (WALL-MOUNTED)	0.125 GALLON/FLUSH	C- URINALS (OTHERS)	0.5 GALLON/FLUSH	D- SHOWERHEADS	1.8 GPM @ 80 PSI	E- LAVATORY FAUCETS	1.2 GPM @ 60 PSI	F- LAVATORY FAUCETS	1.2 GPM @ 80 PSI	G- METERING FAUCETS	0.25 GALLONS PER CYCLE	<p><b>FLOOR PLAN KEY NOTES:</b></p> <ol style="list-style-type: none"> <li>HOSE BIB</li> <li>VINYL FENCE</li> <li>DOUBLE-SIDED FENCE TO SEPARATE PATIO</li> <li>VINYL FENCE DOOR TO SEPARATE UTILITIES PATIO</li> <li>PANELED SHOWER GELCOAT FIBERGLASS "STERLING" 3-PIECE DIRECT TO STUD WHITE BATHTUB SURROUND (TYP. AT ALL SHOWERS)</li> <li>CONCRETE PLANTER (4'-8" X 2'-2") WITH DROUGHT RESISTANT PLANTS. OWNER/TENANT TO PROVIDE IRRIGATION.</li> <li>CONCRETE PLANTER (4'-0" X 2'-2") WITH DROUGHT RESISTANT PLANTS. OWNER/TENANT TO PROVIDE IRRIGATION.</li> </ol> <p>FLOOR DRAIN &amp; DIRECTION OF THE SLOPE</p> <p>1-HOUR-FIRE-RATED (60" MIN FROM SIDE PROPERTY LINES)</p>	<p><b>WALL TYPE LEGEND:</b></p> <ul style="list-style-type: none"> <li>PARTITION WALL: 2"x4" WOOD STUD @ 16" O.C. W/ 5/8" GYP. BD. (1-HR-FIRE-RATED) AT BOTH SIDES. W/ FIBERGLASS INSULATION R-15 (ASSEMBLY: USG UL 407)</li> <li>EXTERIOR WALL: 2"x4" WOOD STUDS @ 16" O.C., R-15 BATT, INSULATION W/ 5/8" GYP. BOARD TYPE X AT EACH SIDE FINISHED WITH 7/8" STUCCO</li> <li>DESIGNATES SIDE OF STUCCO</li> <li>PARTITION WALL (AT GARAGE): 2"x6" WOOD STUDS @ 16" O.C., R-15 BATT, INSULATION W/ 2 LAYERS OF 5/8" GYP. BOARD TYPE X AT EACH SIDE</li> <li>RETAINING WALL: 8"x8"x16" CONCRETE MASONRY UNIT (SEE STRUCTURAL FOR ADDITIONAL INFORMATION)</li> </ul> <p><b>FLOOR PLAN GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>SITE DIMENSIONS SHOWN ARE APPROXIMATE AND MUST BE FIELD VERIFIED.</li> <li>ALL DIMENSIONS ARE TO FACE OF FINISH.</li> <li>ALL GYPSUM BOARD SHEATHING TO BE MINIMUM 1-HR FIRE RATED.</li> <li>HABITABLE ROOMS SHALL NOT BE LESS THAN 7' IN ANY HORIZONTAL DIMENSION.</li> <li>HABITABLE SPACE AND HALLWAYS, BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOMS SHALL HAVE CEILING HEIGHTS NOT LESS THAN 6'-8".</li> <li>AT LEAST ONE HABITABLE ROOM SHALL HAVE NOT LESS THAN 120 S.F. AND OTHER HABITABLE ROOMS SHALL HAVE AN AREA OF NOT LESS THAN 70 S.F.</li> <li>GARAGE FLOOR SURFACE SHALL BE OF APPROVED NON-COMBUSTIBLE MATERIAL (R309)</li> <li>SEALANTS SHALL COMPLY WITH UL 181, UL 181A, OR UL 181B, AND BE NONTOXIC AND WATER RESISTANT. TITLE 24, PART 6, CHAPTER 3, SEC 124 &amp; CHAP 7, SEC 150(V)</li> <li>ANY INSULATION SHALL BE CERTIFIED BY THE DEPARTMENT OF CONSUMER AFFAIRS, BUREAU OF HOME FURNISHING AND THERMAL INSULATION THAT THE INSULATION CONDUCTIVE THERMAL PERFORMANCE IS APPROVED BY THE CALIFORNIA CODE OF REGULATIONS, STANDARDS FOR INSULATING MATERIALS, TITLE 24, PART 6, CHAP 2, SECTION 118</li> <li>THE TERMINATION OF ENVIRONMENTAL AIR DUCTS MUST BE A MINIMUM OF 3 FEET FROM THE PROPERTY LINE AND 3 FEET FROM OPENINGS WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.</li> <li>WALLS AND SOFFITS OF THE ENCLOSED USABLE SPACE UNDER STAIRS SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYP. BOARD.</li> <li>PROVIDE FIRE-SIDES AT THE FOLLOWING LOCATIONS:       <ol style="list-style-type: none"> <li>IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 1 FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.</li> <li>AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.</li> <li>IN CONCEALED SPACES BETWEEN STAR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED; IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT</li> <li>CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.</li> </ol> </li> <li>ALL BUILDING MATERIALS OF ACCESSORY STRUCTURES IF ANY, SHALL BE COMPATIBLE IN WALL FINISHES AND ROOF MATERIALS, ROOF OVERLAP, AND WINDOW TREATMENTS WITH PROPOSED BUILDING.</li> <li>EXTERIOR WALLS WITHIN 3 FT OF PROPERTY LINE (SPRINKLERS) OR 5 FT OF PROPERTY LINE (WITHOUT SPRINKLERS) REQUIRE 1-HOUR FIRE RATING FOR EXPOSURE TO BOTH SIDES.       <ol style="list-style-type: none"> <li>PROJECTIONS (R302.1):           <ul style="list-style-type: none"> <li>PROHIBITED WITHIN 2 FEET OF PROPERTY LINE</li> <li>1-HOUR FIRE RATING ON THE UNDERSIDE WITHIN 3 FT OF PROPERTY LINE (SPRINKLERS)</li> <li>1-HOUR FIRE RATING ON THE UNDERSIDE WITHIN 5 FT OF PROPERTY LINE (WITHOUT SPRINKLERS)</li> </ul> </li> </ol> </li> <li>OPENINGS:       <ul style="list-style-type: none"> <li>PROHIBITED WITHIN 3 FT OF PROPERTY LINE</li> <li>MAXIMUM 20% OF WALL AREA WITHIN 5 FT OF PROPERTY LINE (WITHOUT SPRINKLERS)</li> </ul> </li> <li>PENETRATIONS:       <ul style="list-style-type: none"> <li>1-HOUR FIRE-RATED PENETRATIONS OF WALLS WITHIN 3 FT OF PROPERTY LINE (SPRINKLERS)</li> <li>1-HOUR FIRE-RATED PENETRATIONS OF WALLS WITHIN 5 FT OF PROPERTY LINE (WITHOUT SPRINKLERS)</li> </ul> </li> <li>CONCRETE LANDING WITH MIN 36" DEPTH AND A MAXIMUM OF 1-1/2" LOWER THAN TOP OF DOOR THRESHOLD</li> </ol>	<p><b>REVISIONS:</b></p> <table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>06/26/2023</td> <td></td> </tr> </tbody> </table> <p>DRAWN: K.N.    JOB No: 00-58    SHEET No:</p>	DATE	DESCRIPTION	06/26/2023		<p><b>THE AMERICAN INSTITUTE OF ARCHITECTS</b></p> <p><b>SBD</b>    Studio Borkosky Design LLC</p> <p>Studio Borkosky Design LLC    Address: 4738 Decoy Street #17    La Jolla - CA 92037    Phone: (858) 549 8802    E-mail: studio@borkoskydesign.com</p> <p>Copyright © 2024    ALL IDEAS, DESIGNS, AND ARRANGEMENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF STUDIO BORKOSKY DESIGN LLC AND ARE INTENDED TO BE USED IN CONNECTION WITH THE SPECIFIC PROJECT ONLY AND SHALL BE NO CHANGE OR DEVIATIONS FROM THESE DRAWINGS OR THE ACCOMPANYING SPECIFICATIONS. THESE DRAWINGS SHALL NOT OTHERWISE BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT AND APPROVAL FROM SBD.</p> <p>2250 MENDOCINO BOULEVARD, SAN DIEGO, CA 92107</p> <p><b>FRIEL'S RESIDENCE</b>    RESIDENTIAL NEW CONSTRUCTION</p> <p><b>FLOOR PLAN</b></p> <p><b>A-2.0</b></p>
FIXTURE TYPE	MAXIMUM FLOW RATE																									
A- WATER CLOSETS	1.28 GALLONS/FLUSH																									
B- URINALS (WALL-MOUNTED)	0.125 GALLON/FLUSH																									
C- URINALS (OTHERS)	0.5 GALLON/FLUSH																									
D- SHOWERHEADS	1.8 GPM @ 80 PSI																									
E- LAVATORY FAUCETS	1.2 GPM @ 60 PSI																									
F- LAVATORY FAUCETS	1.2 GPM @ 80 PSI																									
G- METERING FAUCETS	0.25 GALLONS PER CYCLE																									
DATE	DESCRIPTION																									
06/26/2023																										



1 3RD FLOOR PLAN

Scale: 1/4" = 1'-0" NORTH



2 ROOF PLAN

Scale: 1/4" = 1'-0" NORTH

**ROOF PLAN KEY NOTES:**  
 [A] PVC ROOFING CLASS "A" (SEE CROSS SECTIONS FOR ADDITIONAL INFORMATION)  
 [B] EXISTING TRUSS BEAM BELOW  
 ← DIRECTION OF ROOF SLOPE

**ROOF PLAN GENERAL NOTES:**  
 1- ALL G.I. FLASHING SHALL BE PER S.M.A.C.N.A. STANDARDS AND SHALL BE OF NON-COMBUSTIBLE MATERIAL.  
 2- PROVIDE COPPER ROOF FLASHING AT ALL ROOF AND WALL INTERSECTIONS, VALLEYS, AND G.I. DIVERTERS OVER EXTERIOR DOORWAYS (WHERE OCCURS), AND SHALL BE OF NON-COMBUSTIBLE MATERIAL.  
 3- PROVIDE PLYWOOD CRICKETS AND G.I. FLASHING AT ANY AND ALL PRECARIOUS WATER COLLECTION SPOTS ON ROOF TO DIVERT WATER TO NATURAL ROOF FLOW. 1/4" / FT. MIN. AT VALLEYS.  
 4- BALCONIES AND DECKS EXPOSED TO THE WEATHER AND SEALED UNDERNEATH SHALL BE SLOPED A MIN. OF 1/4 INCH PER FOOT FOR DRAINAGE.  
 5- ROOFING TO BE CLASS "A" MINIMUM.

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**3RD FLOOR & ROOF PLAN**

FRIEL'S RESIDENCE  
 RESIDENTIAL NEW CONSTRUCTION  
 2250 MENDOCINO BOULEVARD, SAN DIEGO, CA 92107

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JOB No:	00-58
SHEET No:	A-2.1

- ELEVATIONS KEY NOTES:
- 1 BLUE PAINT AT STUCCO (SHERWIN WILLIAMS SW-6775 "BRNRY")
  - 2 GRAY PAINT AT STUCCO (SHERWIN WILLIAMS SW-9143 "CADET")
  - 3 WHITE PAINT AT STUCCO (SHERWIN WILLIAMS SW-7006 "EXTRA WHITE")
  - 4 ALIGN PLASTER CONTROL JOINT WITH HEADERS AS SHOWN (TYP.)
  - 5 ALIGN PLASTER CONTROL JOINT WITH WINDOWS SILLS AS SHOWN (TYP.)
  - 6 VERTICAL PLASTER CONTROL JOINTS TO BE CENTERED WITH THE OPENING (TYP.)
  - \* PLASTER CONTROL JOINTS TO BE AROUND THE COMPLETE PERIMETER OF THE CONSTRUCTION AS SHOWN ON ELEVATIONS AND SECTIONS.
  - 7 WALL-MOUNTED OUTDOOR DECORATIVE LIGHTING, TO BE 3" FROM EDGE OF OPENING (SEE LIGHTING PLAN A-2.2)
  - 8 MAIN HOUSE ADDRESS PLAQUE NUMBERS ILLUMINATED LED BLACK METAL: "2250 MENDOCINO BOULEVARD"
  - 9 ACCESSORY DWELLING UNIT ADDRESS PLAQUE NUMBERS ILLUMINATED LED BLACK METAL: "2252 MENDOCINO BOULEVARD"

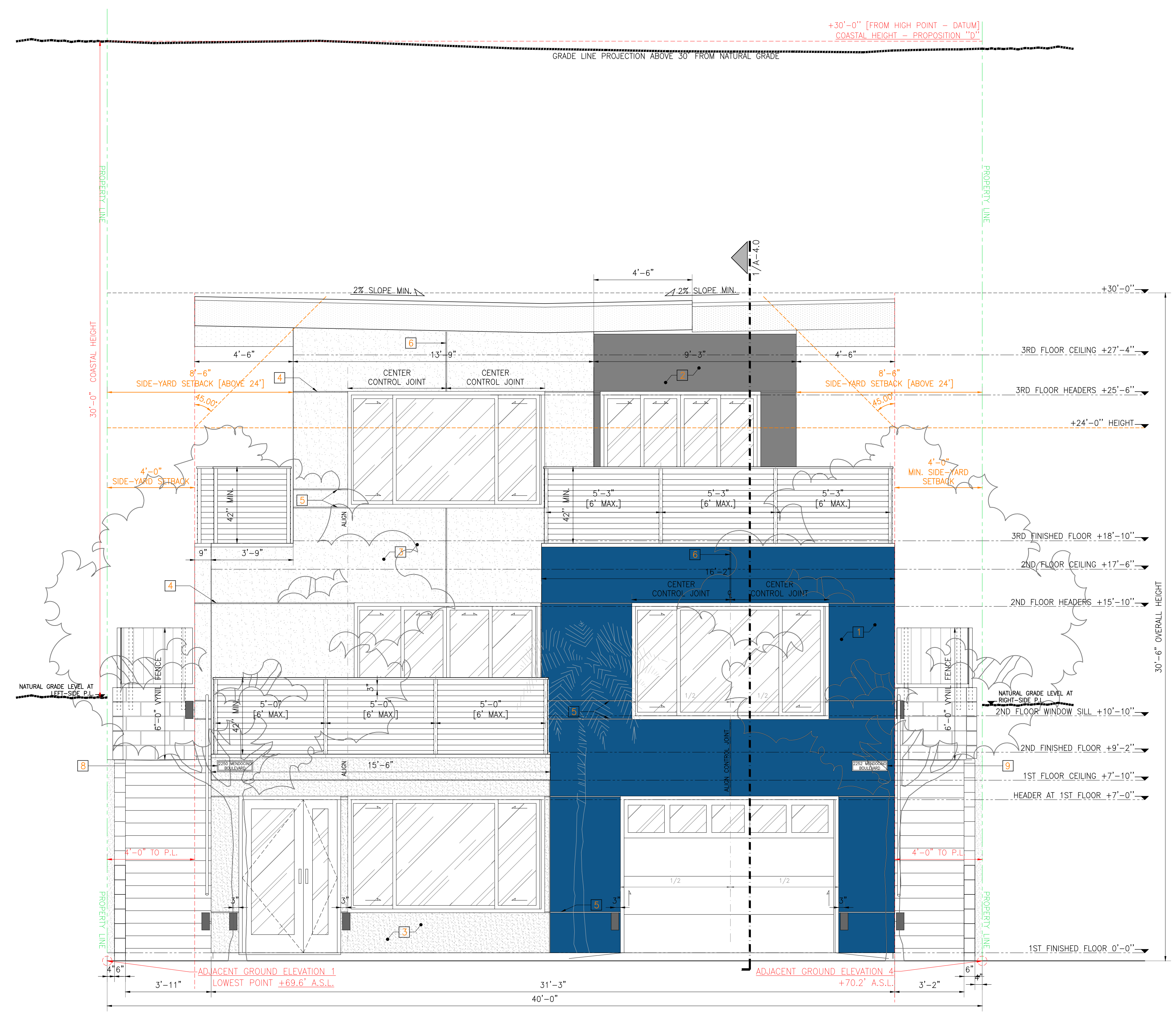
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1 ELEVATION 1

SC 3/8" = 1'-0"

ELEVATION 1

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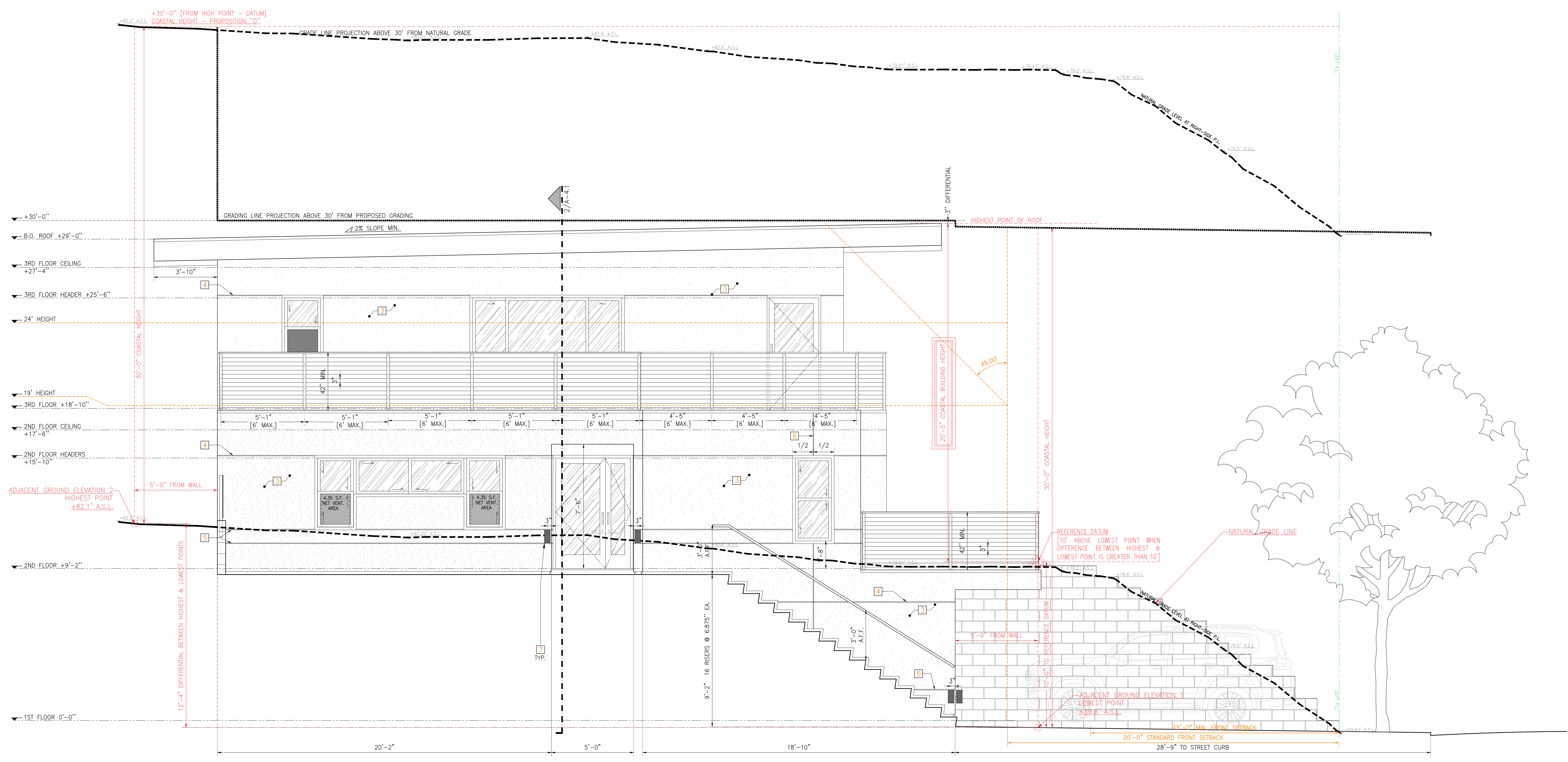
**ELEVATION 2**

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**ELEVATION 2**

Scale: 3/8" = 1'-0"

**ELEVATION 3**

**FRIEL'S RESIDENCE**  
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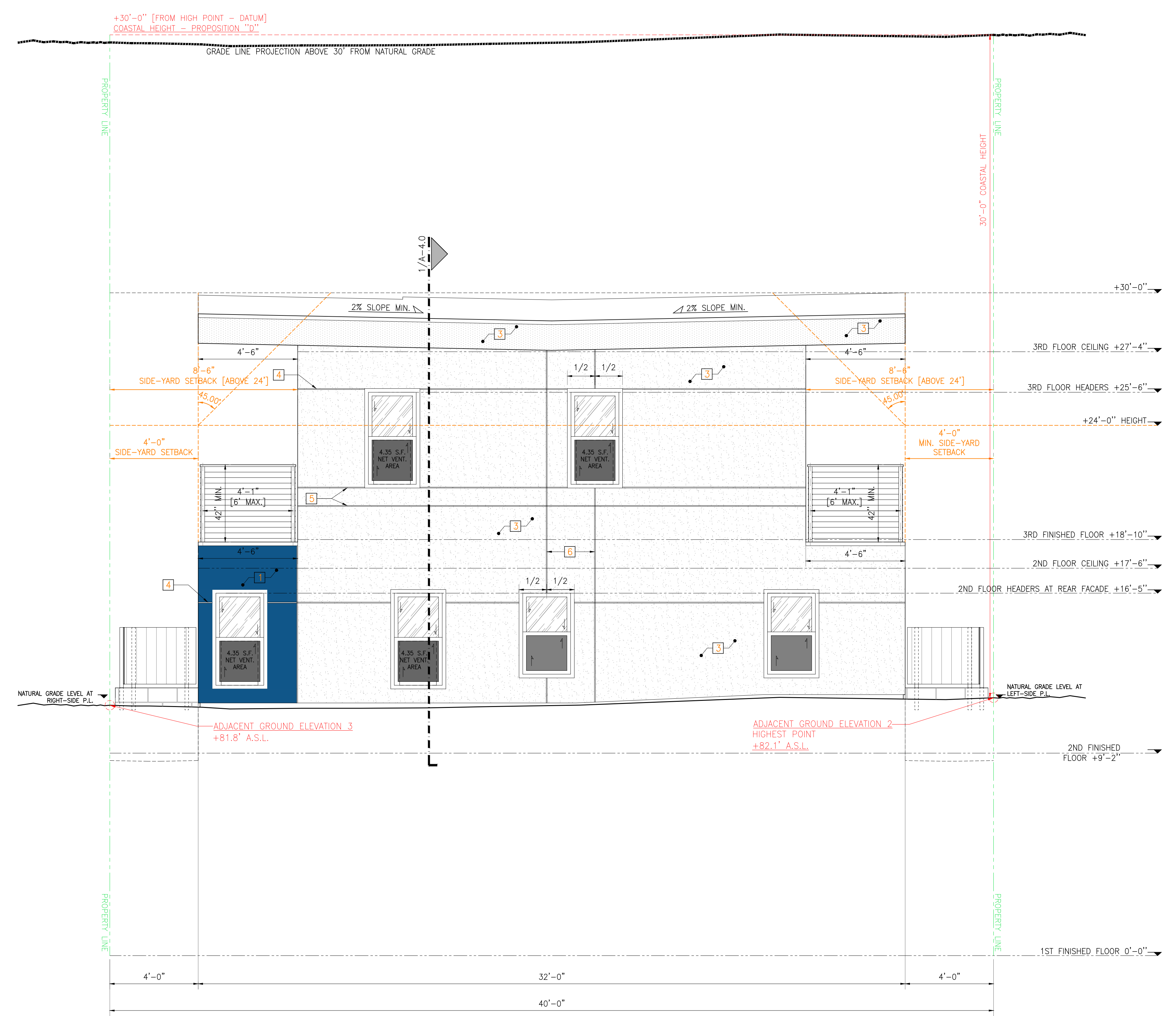
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**A-3.2**



**3 ELEVATION 3**

Scale: 3/8" = 1'-0"

**ELEVATION 4**

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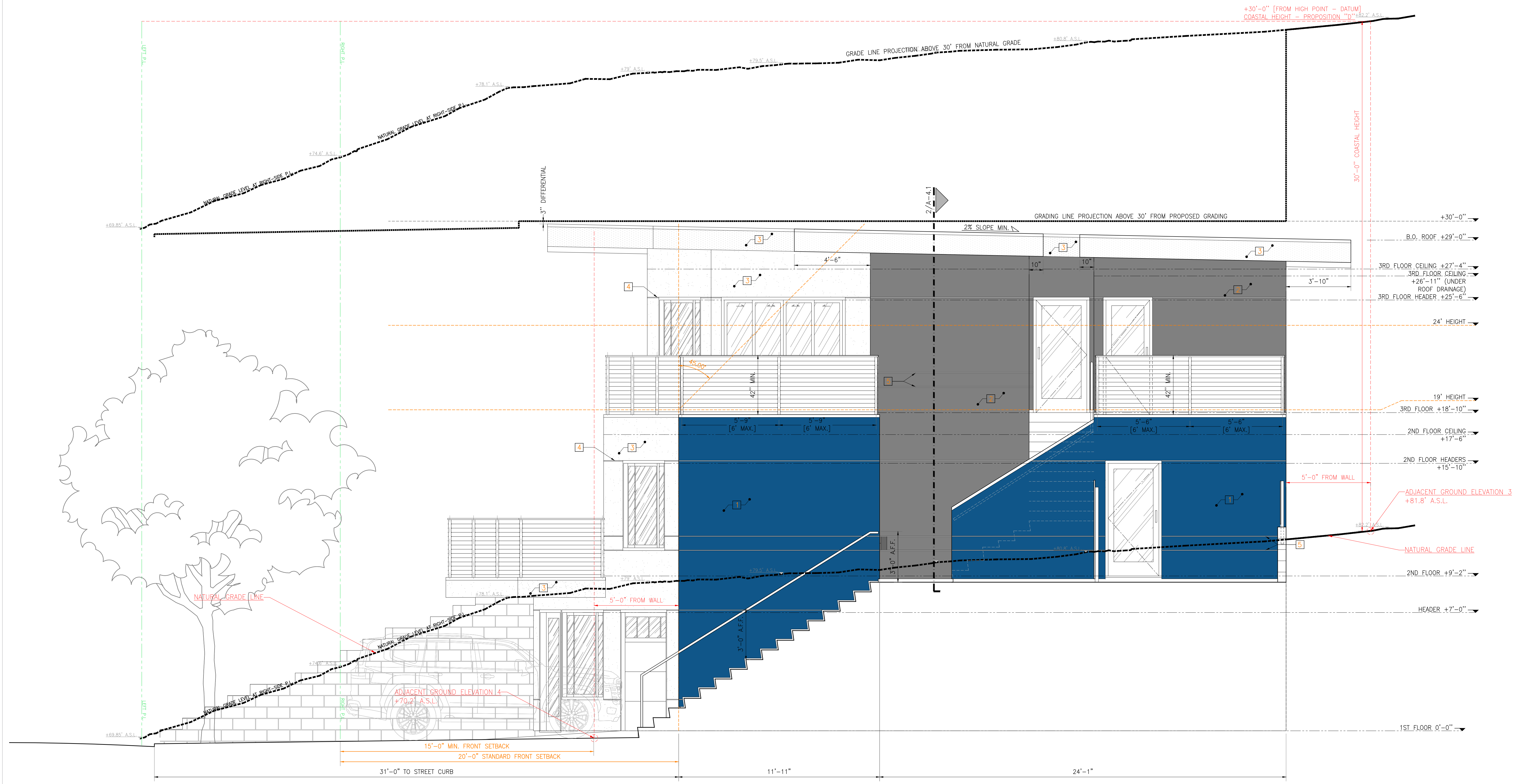
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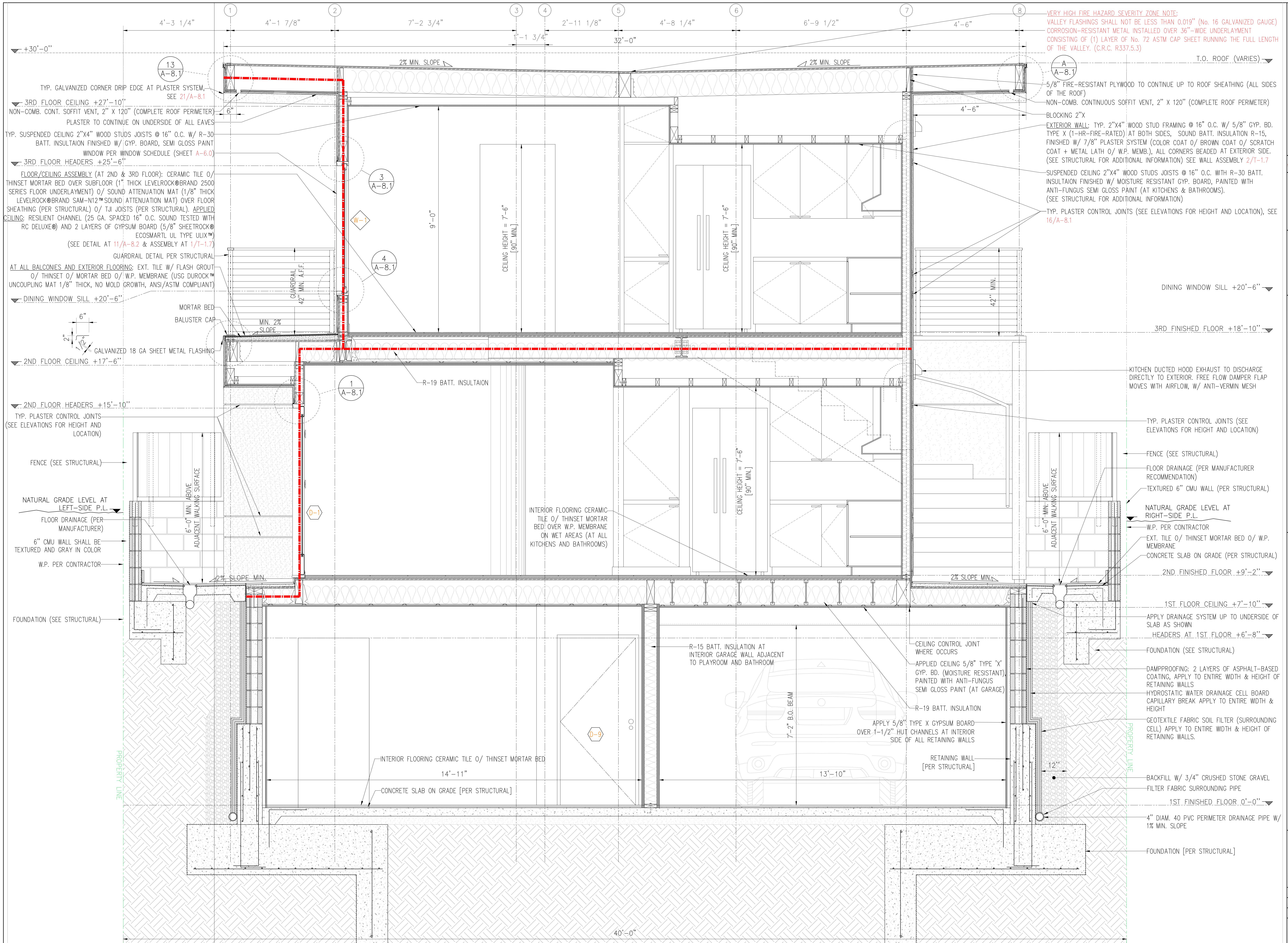
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SHEET No:



**4 ELEVATION 4**

3/8" = 1'-0"



**VERY HIGH FIRE HAZARD SEVERITY ZONE NOTE:**  
 VALLEY FLASHINGS SHALL NOT BE LESS THAN 0.019" (No. 16 GALVANIZED GAUGE)  
 CORROSION-RESISTANT METAL INSTALLED OVER 36"-WIDE UNDERLAYMENT  
 CONSISTING OF (1) LAYER OF No. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH  
 OF THE VALLEY. (C.R.C. R337.5.3)

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**SECTION 1**

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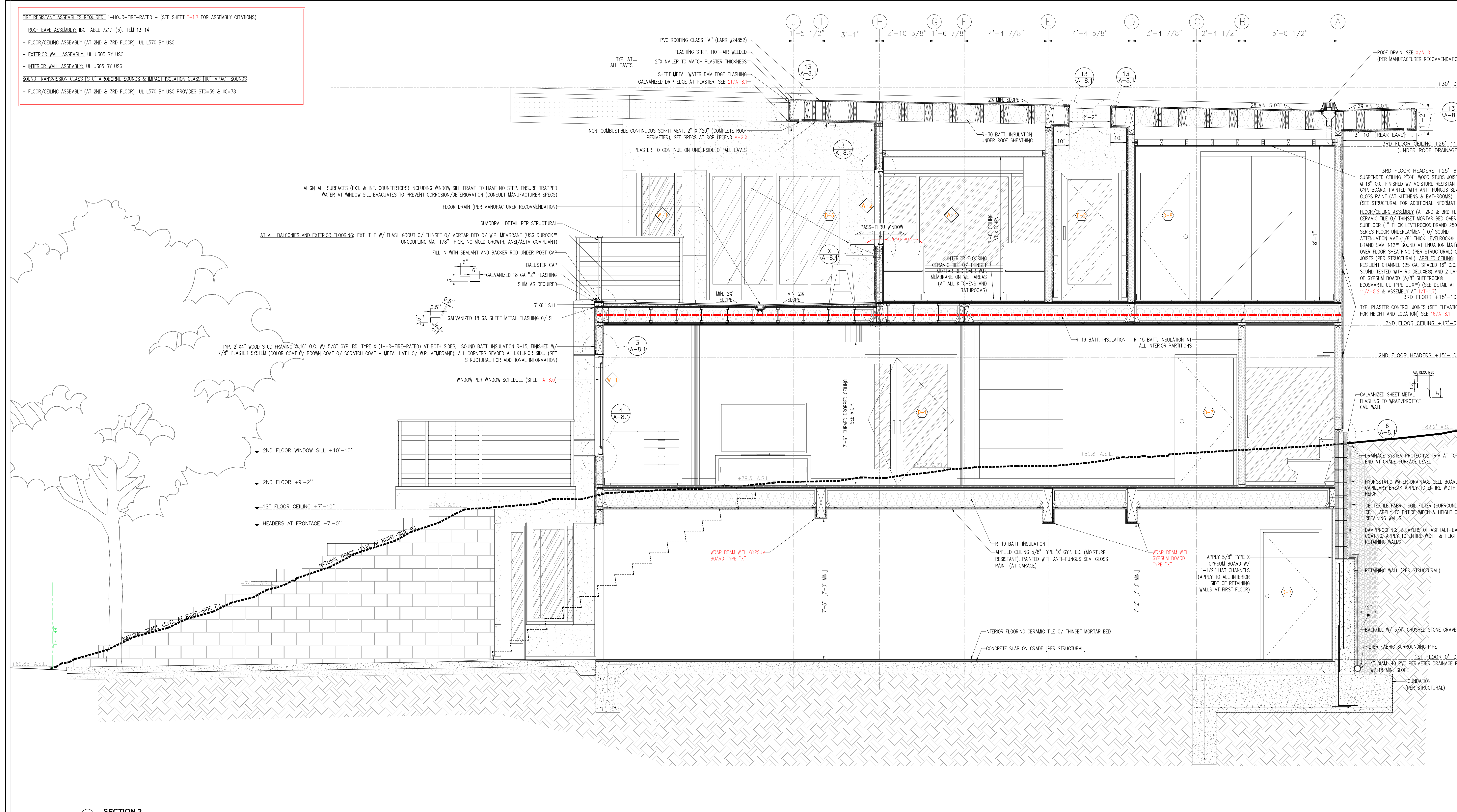
**A-4.0**

**SECTION 1**

SE 3/4" = 1'-0"

**FIRE RESISTANT ASSEMBLIES REQUIRED: 1-HOUR-FIRE-RATED - (SEE SHEET T-1.7 FOR ASSEMBLY CITATIONS)**

- ROOF EAVE ASSEMBLY: IBC TABLE 721.1 (3), ITEM 13-14
- FLOOR/CEILING ASSEMBLY (AT 2ND & 3RD FLOOR): UL L570 BY USG
- EXTERIOR WALL ASSEMBLY: UL U305 BY USG
- INTERIOR WALL ASSEMBLY: UL U305 BY USG
- SOUND TRANSMISSION CLASS [STC] AIRBORNE SOUNDS & IMPACT ISOLATION CLASS [IIC] IMPACT SOUNDS
- FLOOR/CEILING ASSEMBLY (AT 2ND & 3RD FLOOR): UL L570 BY USG PROVIDES STC-59 & IIC-78



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**SECTION 2**

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**SECTION 2**

SC: 3/4" = 1'-0"

CROSS SECTION LEGEND	GENERAL NOTES:
<p>1-HR-FIRE RATED = - - - - -</p>	<p>1- ALL DIMENSIONS SHOWN ARE APPROXIMATE AND MUST BE FIELD VERIFIED. 2- ALL DIMENSIONS ARE TO FACE OF FINISH. 3- ALL GYPSUM BOARD SHEATHING TO BE MIN. 1-HR FIRE RATED</p>
<p>REVISIONS:</p>	<p>DATE: 06/26/2023 DRAWN: K.N. JOB No: 00-58 SHEET No: <b>A-4.1</b></p>

**BUILDING ENVELOPE ANALYSIS**

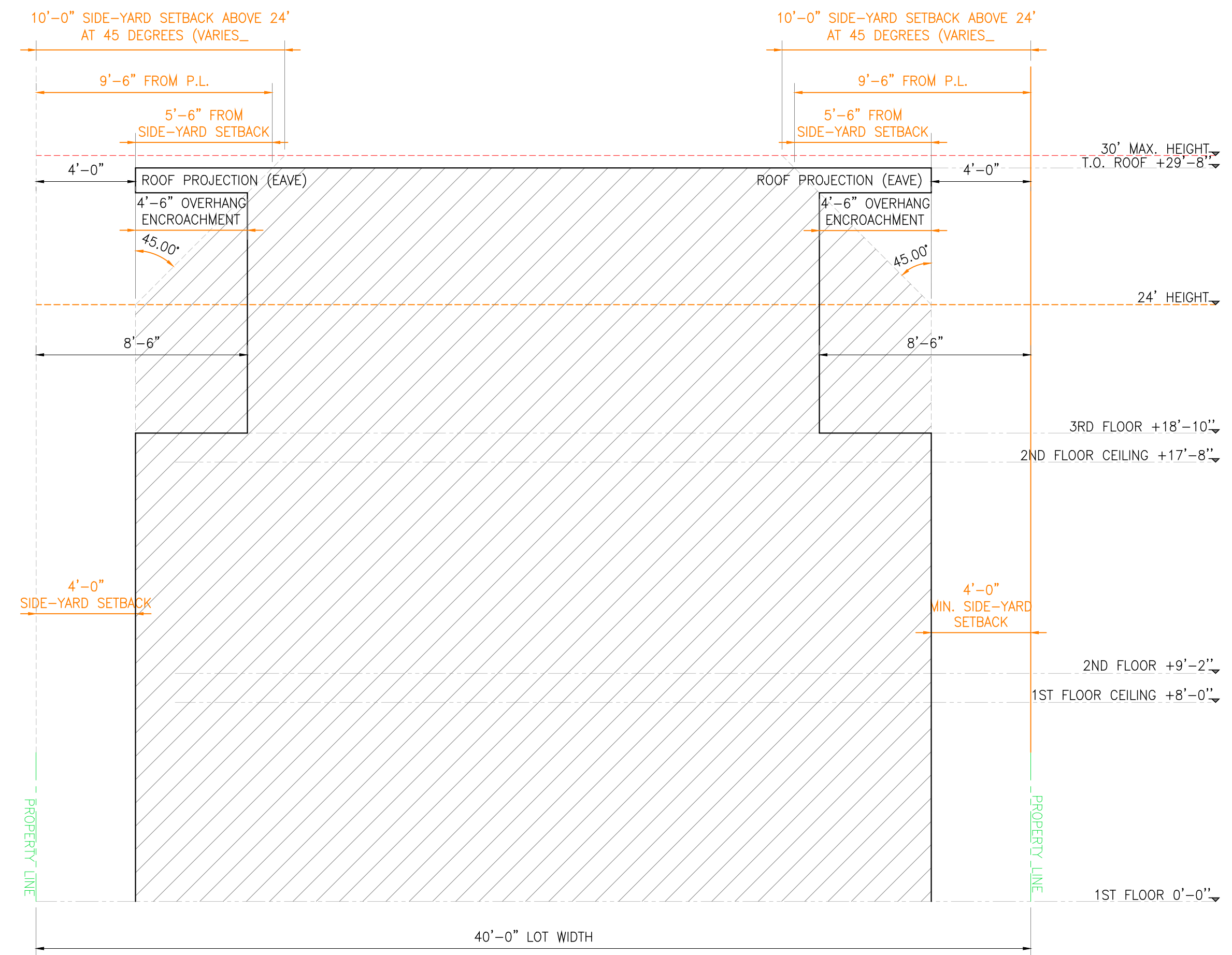
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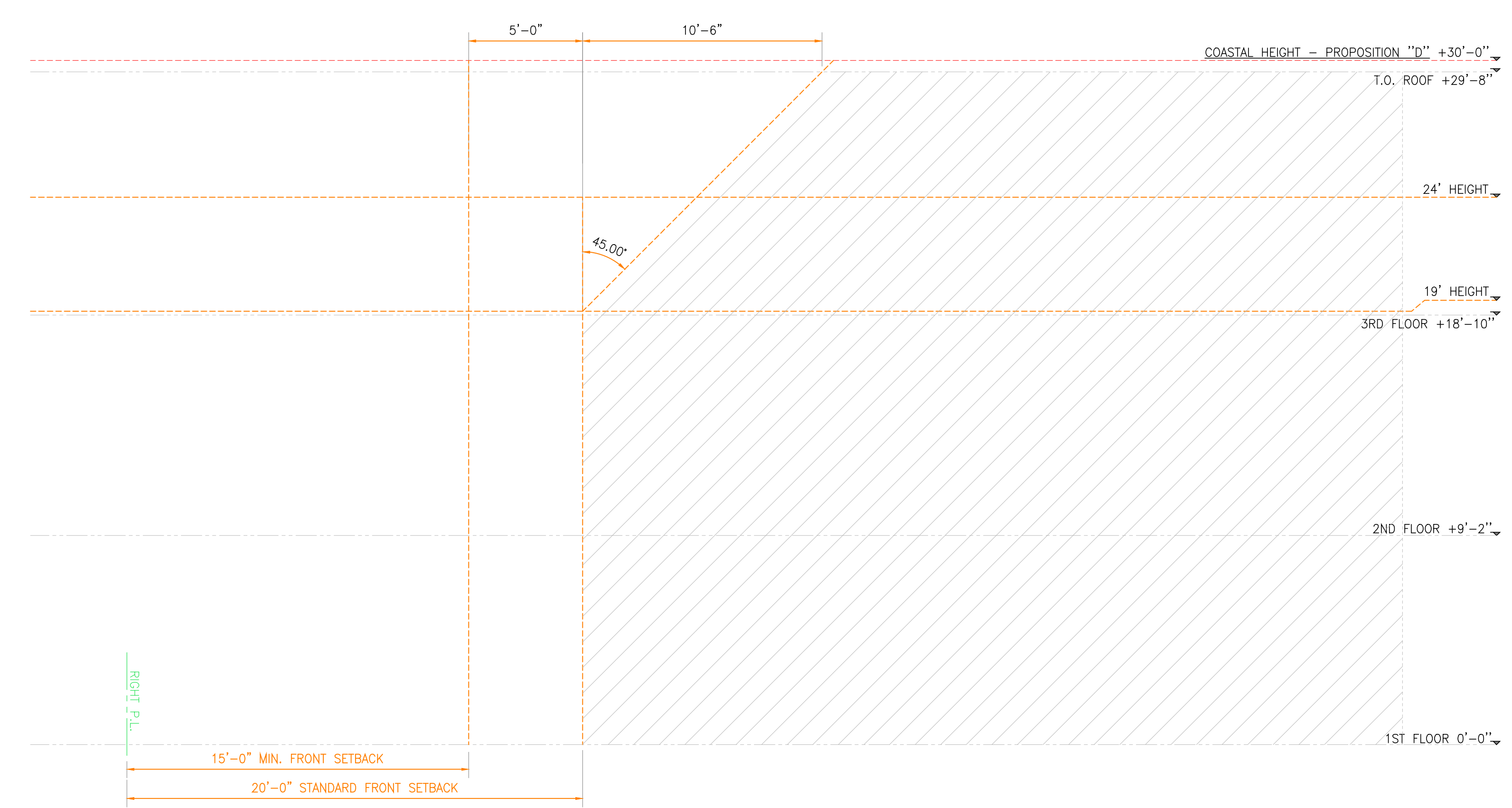
**A-5.0**

ANGLED BUILDING ENVELOPE AT SIDE SETBACK 1141.03.02 (E)  
(ADU EXEMPTED FROM ZONE BASE SIDE-YARD SETBACK)



1 FRONTAGE - BUILDING ENVELOPE ANALYSIS  
SS: 3/4" = 1'-0"

ANGLED BUILDING ENVELOPE AT FRONT SETBACK ABOVE 19' & 24'



2 SIDE ELEVATION - BUILDING ENVELOPE ANALYSIS  
SS: 3/4" = 1'-0"