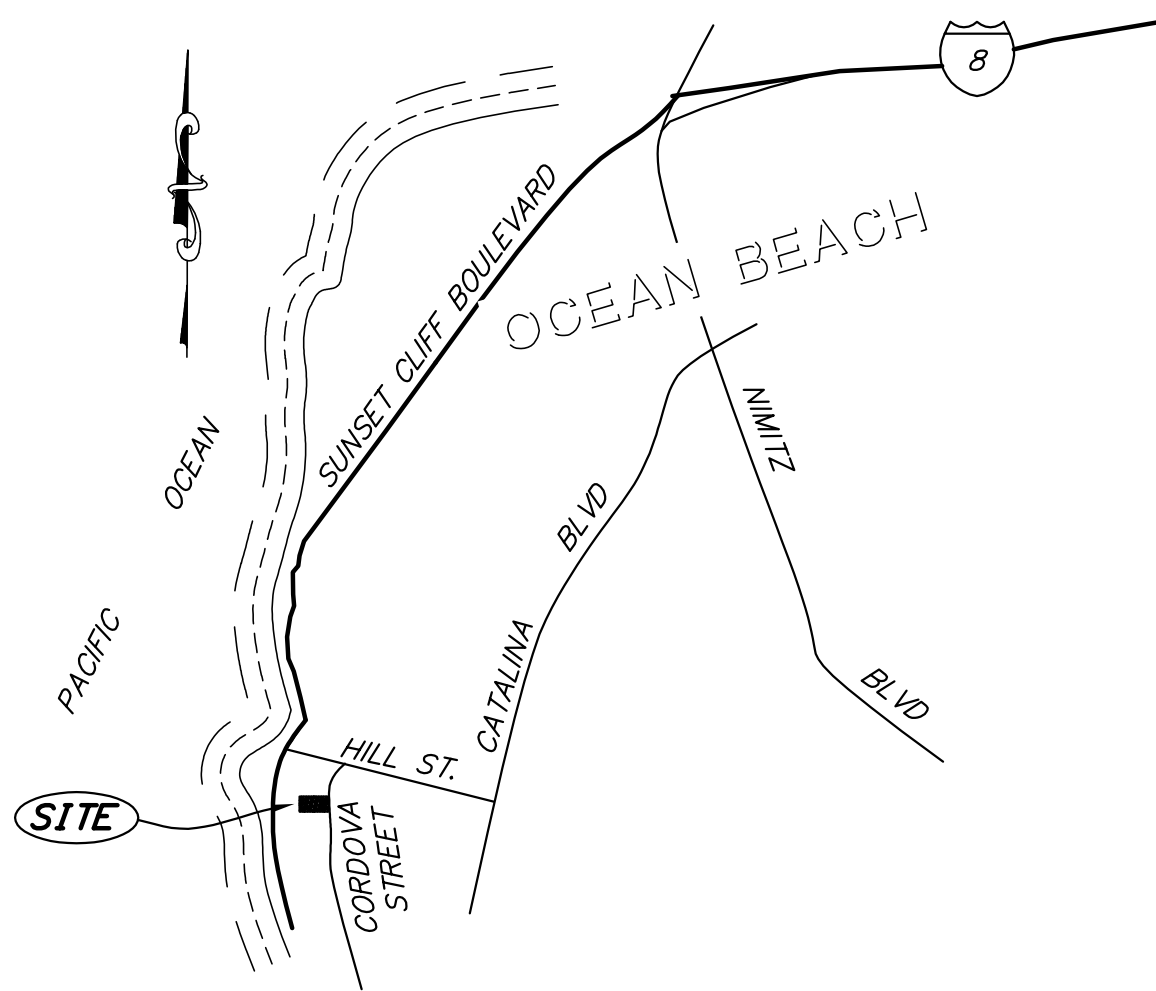




VICINITY MAP

NO SCALE



TOPOGRAPHIC SURVEY OF

956 CORDOVA STREET

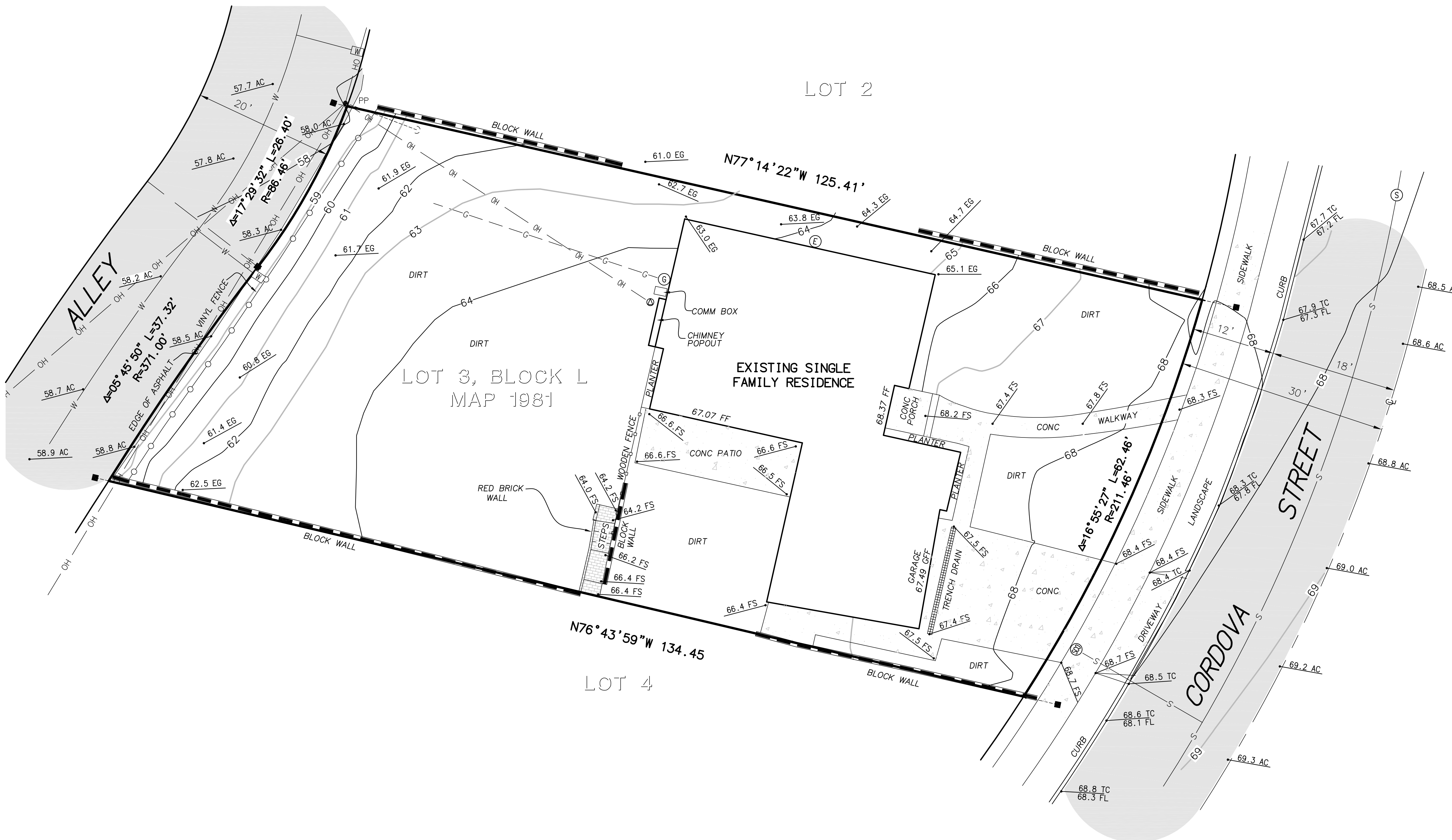
SAN DIEGO, CA 92107

DECEMBER 1, 2023

SCALE 1" = 8'

LEGEND

	SPOT ELEVATION
	CONTOUR ELEVATION
	CONCRETE PAVING
	ASPHALT PAVING
	FINISH SURFACE
	EXISTING GRADE
	FINISH FLOOR
	TOP OF CURB
	FLOW LINE
	WATER METER
	GAS METER
	SEWER MANHOLE
	ELECTRIC METER
	WOOD FENCE
	VINYL FENCE
	MASONRY BLOCK WALL
	TRENCH DRAIN
	OVERHEAD UTILITY LINES
	GAS MAIN
	WATER MAIN
	SEWER MAIN
	POWER POLE
	UTILITY DROP (AS NOTED)
	FOUND LEAD & DISC PER PENDING SURVEY
	CONCRETE PAVING
	ASPHALT PAVING
	BRICK PAVERS



Allen R. A. Turner III PLS DATE APRIL 23, 2024



PREPARED FOR:

GEORGE AND SANDRA VARDOLAKIS  
5 FLAX STREET  
COTO DE CAZA, CA 92679

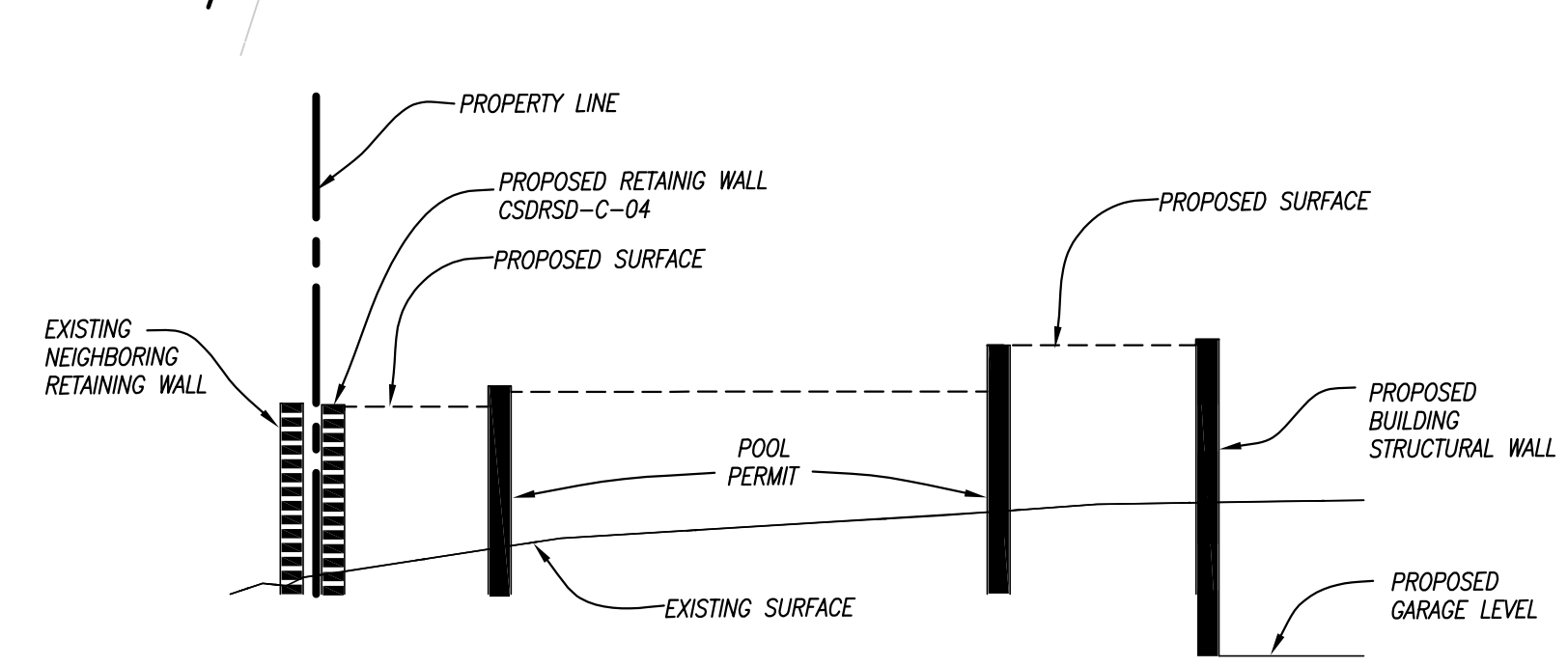
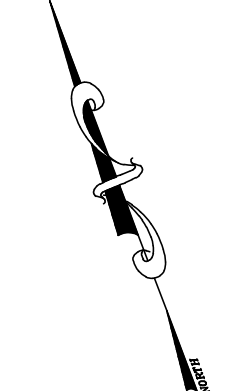
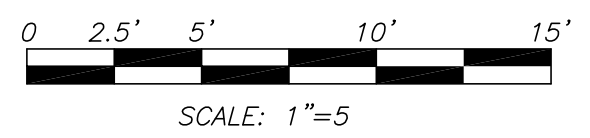
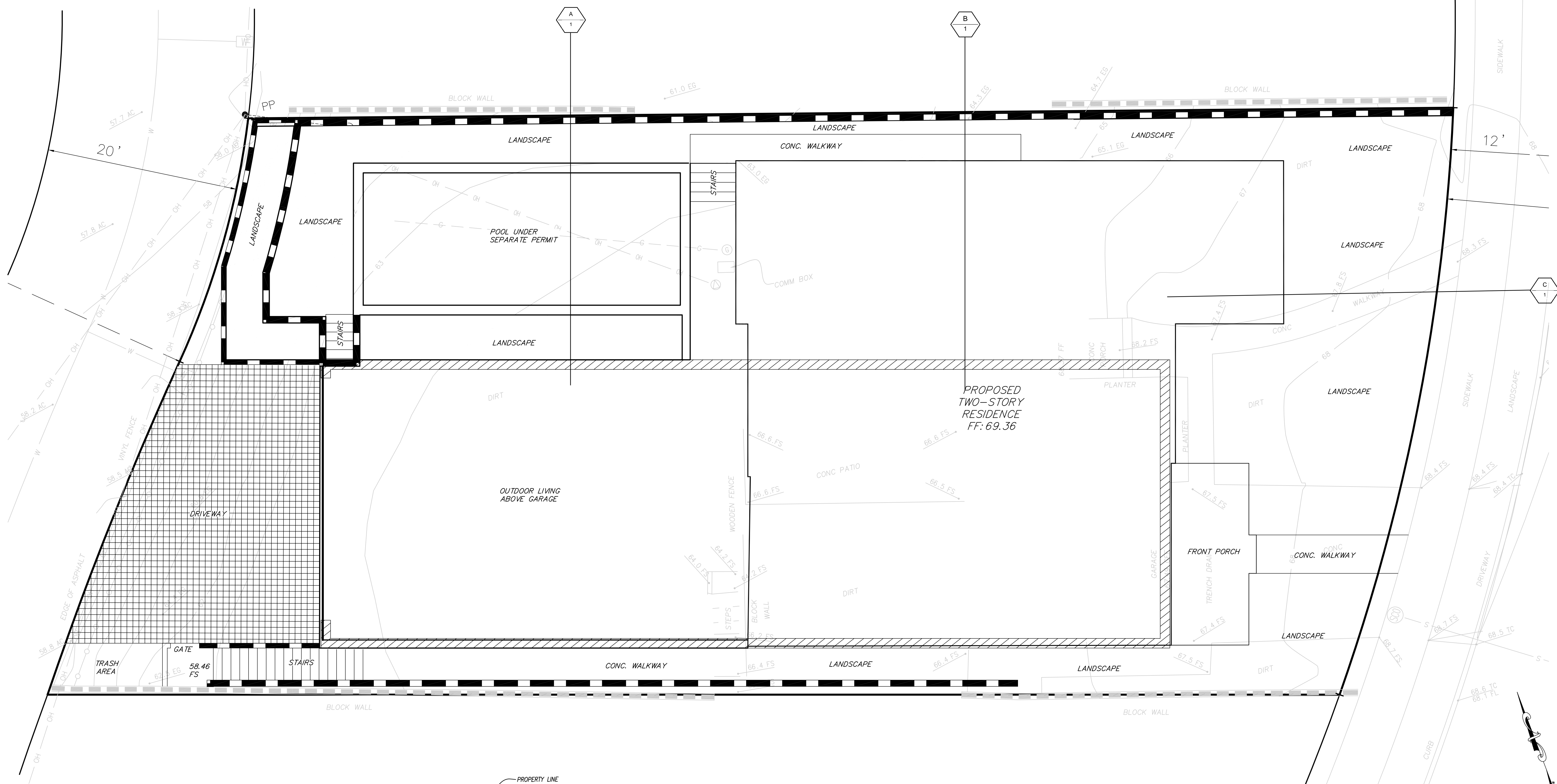
BENCH MARK:

THE BENCH MARK USED FOR THIS SURVEY IS A NORTHWEST BRASS PLUG AT CORDOVA STREET AND HILL STREET.

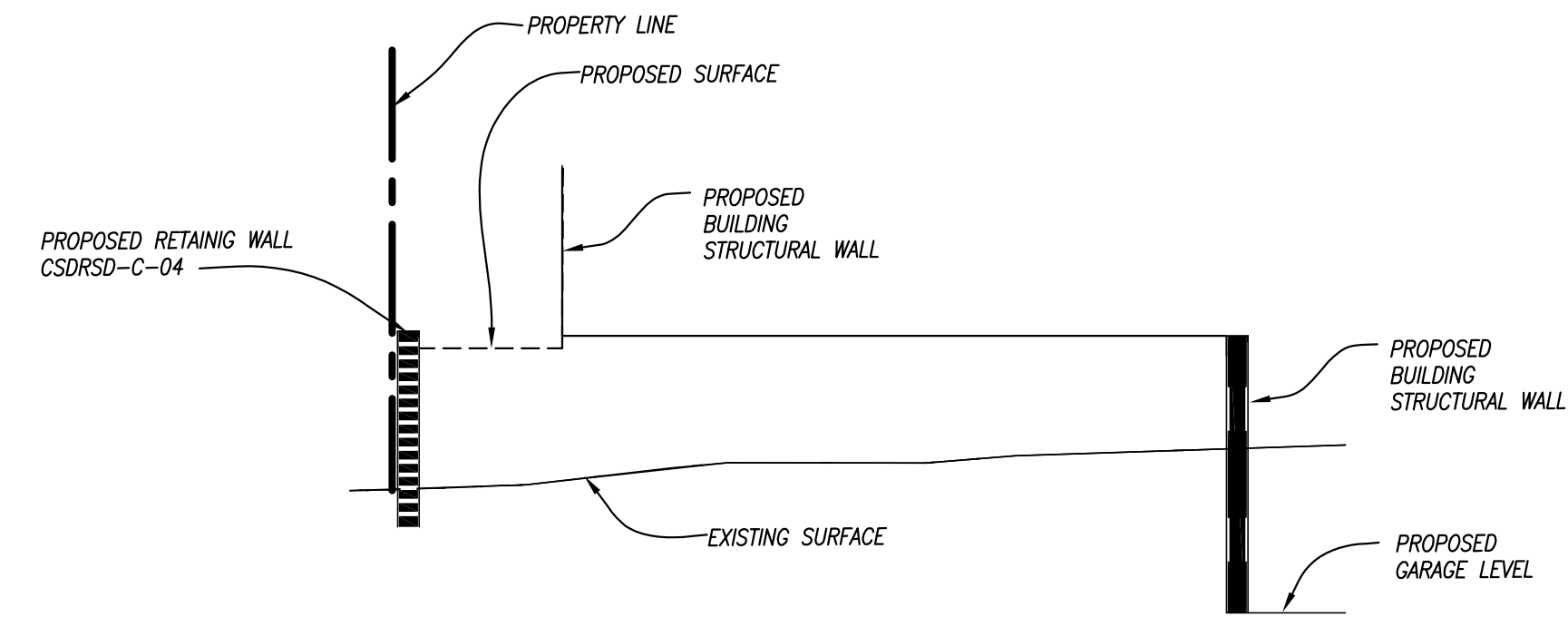
ELEVATION: 63.015 FT  
DATUM: NGVD 29

NOTES:

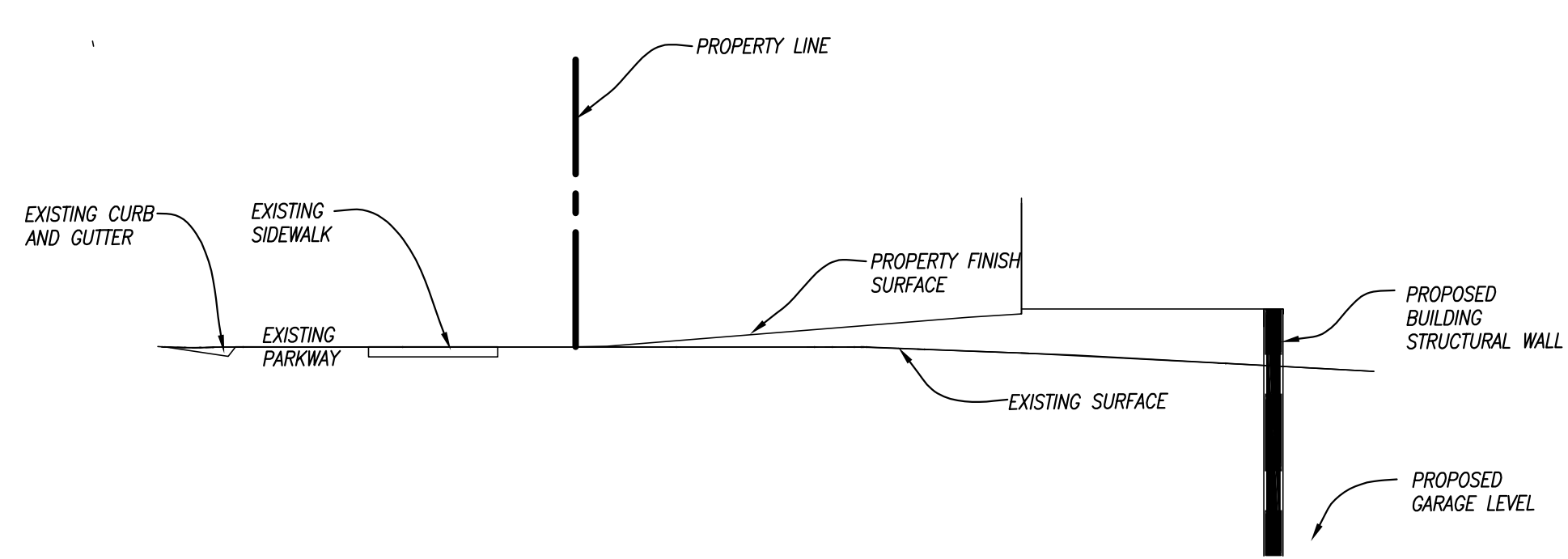
- SITE ADDRESS: 956 CORDOVA STREET, SAN DIEGO, CA
- LEGAL DESCRIPTION: LOT 3, BLOCK L, OF AZURE VISTA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1981, FILED IN THE OFFICE OF THE COUNTY RECORDER ON JANUARY 4, 1927 PER GRANT DEED DOC. NO. 2023-0106586, REC APRIL 24, 2023, OF O.R.
- ASSESSOR'S PARCEL NO. 531-400-03
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM AVAILABLE RECORD INFORMATION, SUPPLEMENTED BY FIELD OBSERVATION OF SURFACE FEATURES. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION.
- THE PROPERTY LINE BEARINGS & DIMENSIONS SHOWN HEREON WERE DERIVED FROM A CORNER RECORD NO. 52420.
- LOT AREA: 7897 SQ FT / 0.1812 ACRES



SECTION A-A'



SECTION B-B'



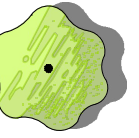
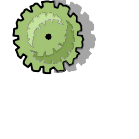


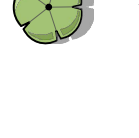
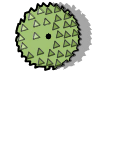
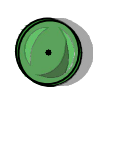
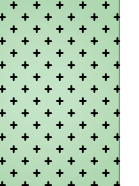
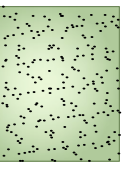
SECTION C-C'

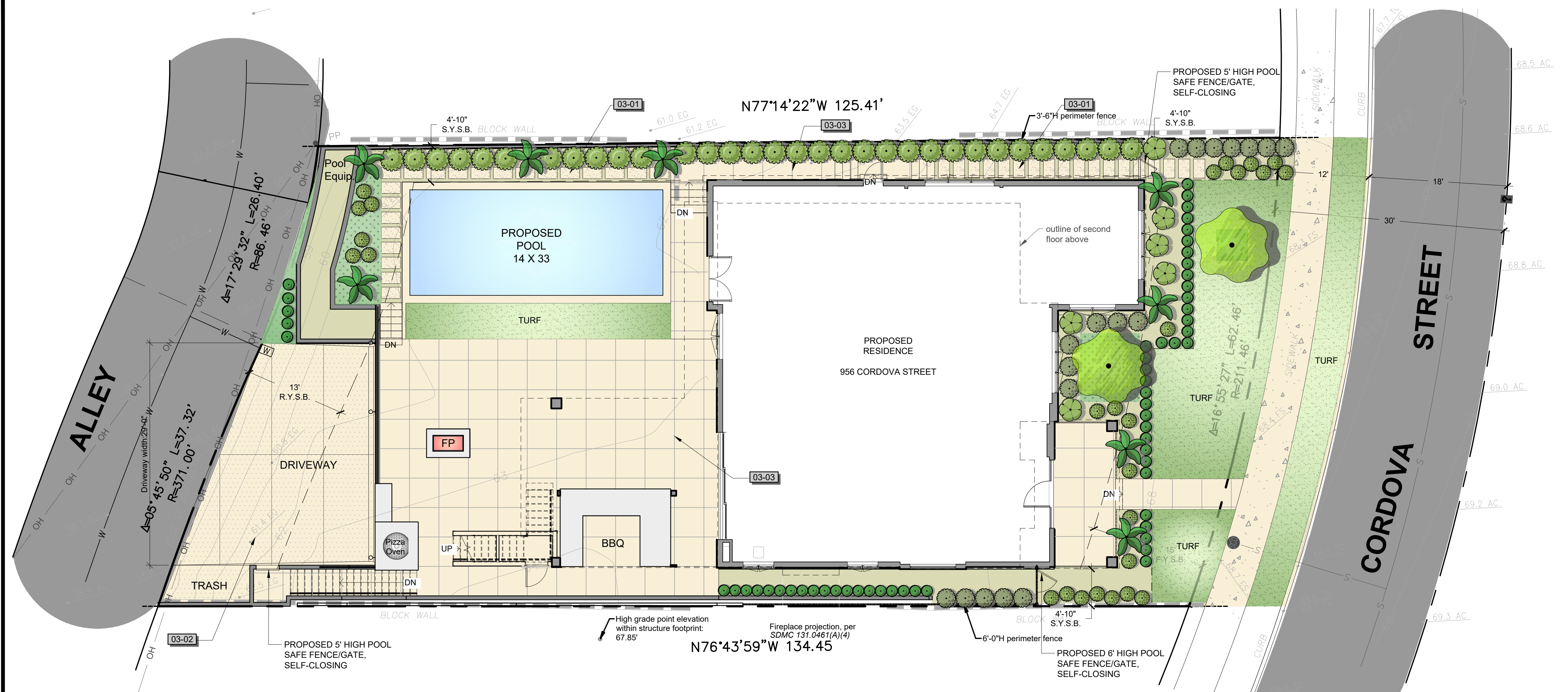
INTERIM - FOR PERMIT REVIEW ONLY

PREPARED BY:  
 NAME: KAPPA SURVEYING & ENGINEERING, INC.  
 ADDRESS: 8402 N. MAGNOLIA AVENUE, SUITE C  
SANTEE, CA 92071  
 PHONE NO.: (619) 449-2600  
 PROJECT ADDRESS:  
956 CORDOVA STREET  
SAN DIEGO, CA 92107  
 PROJECT NAME:  
956 CORDOVA STREET  
 SHEET TITLE:  
GRADING SHEET

REVISION 1:	_____
REVISION 2:	_____
REVISION 3:	_____
REVISION 4:	_____
REVISION 5:	_____
ORIG. DATE:	_____
PRJ. NO.:	_____
I.O.:	_____
DATE:	_____

**CONCEPT PLANT SCHEDULE**

	<b>SMALL DECORATIVE TREE - 24" BOX</b> LOW WATER USE (0.1 - 0.3 ETO) CERCIS OCCIDENTALIS / WESTERN REDBUD MULTI-TRUNK LAGERSTROEMIA I. X FAURIEI / ACOMA / CRAPE MYRTLE LAURUS X 'SARATOGA' / SARATOGA HYBRID LAUREL PRUNUS CAROLINIANA / CAROLINA CHERRY LAUREL (MODERATE WATER USE)	2
	<b>LARGE SCREENING SHRUBS - SIZES:</b> 25% @ 15 GAL., 50% @ 5 GAL., 25% @ 1 GAL. LOW WATER USE (0.1 - 0.3 ETO) LIGUSTRUM VULGARE 'SWIFT' / FIRST EDITIONS® STRAIGHT TALK® PRIVET PITTOSPORUM T. 'SILVER SHEEN' / PITTOSPORUM PRUNUS CAROLINIANA 'BRIGHT 'N TIGHT' / CHERRY LAUREL (MODERATE WATER USE) WESTRINGIA FRUTICOSA / COAST ROSEMARY	32
	<b>LARGE ACCENT SHRUBS - 15 GAL.</b> LOW WATER USE (0.1 - 0.3 ETO) CHAMAEROPS HUMILIS / MEDITERRANEAN FAN PALM CYCAS REVOLUTA / SAGO PALM PHOENIX ROEBELENI / PYGMY DATE PALM MULTI-TRUNK PHORMIUM TENAX 'RADIANCE' / NEW ZEALAND FLAX	8
	<b>MEDIUM HEDGE - 5 GAL.</b> LOW WATER USE (0.1 - 0.3 ETO) LIGUSTRUM JAPONICUM 'TEXANUM' / TEXAS JAPANESE PRIVET (MODERATE) OLEA EUROPAEA 'LITTLE OLLIE'™ / LITTLE OLLIE OLIVE RHAPHIOLEPIS UMBELLATA 'MINOR' / YEDDA HAWTHORN ROSMARINUS O. 'COLLINGWOOD INGRAM' / ROSEMARY WESTRINGIA FRUTICOSA 'GREY BOX' / COAST ROSEMARY	18
	<b>MEDIUM ACCENT SHRUB - 5 GAL.</b> LOW WATER USE (0.1 - 0.3 ETO) GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / GAURA LAURUS NOBILIS 'LITTLE RAGU' / SWEET BAY LOMANDRA CONFERTIFOLIA 'POM POM' / SHORTY MAT RUSH PHORMIUM X 'GOLDEN RAY' / FLAX POLYGALA FRUTICOSA 'PETITE BUTTERFLY' / SWEET PEA SHRUB SALVIA LEUCANTHA 'SANTA BARBARA' / MEXICAN SAGE SANSEVIERIA TRIFASCIATA / MOTHER IN LAW'S TONGUE	6
	<b>LOW MOUNDING SHRUB - 1 GAL.</b> LOW WATER USE (0.1 - 0.3 ETO) BUXUS X 'GREEN GEM' / GREEN GEM BOXWOOD (MODERATE WATER USE) CARISSA MACROCARPA 'GREEN CARPET' / NATAL PLUM OLEA EUROPAEA 'LITTLE OLLIE'™ / LITTLE OLLIE OLIVE PITTOSPORUM C. 'COMPACTUM' / DWARF KARO PITTOSPORUM T. 'WHEELER'S DWARF' / DWARF PITTOSPORUM PITTOSPORUM TENUIFOLIUM 'GOLF BALL' / GOLF BALL TAWHIWHI (MODERATE) ROSMARINUS OFFICINALIS 'PROSTRATUS' / DWARF ROSEMARY WESTRINGIA F. 'MUNDI' / LOW COAST ROSEMARY	27
	<b>LOW SHRUB - 1 GAL.</b> LOW WATER USE (0.1 - 0.3 ETO) BUXUS MICROPHYLLA JAPONICA 'MORRIS MIDGET' / MIDGET BOXWOOD (MODERATE) CRASSULA A. UNDULATIFOLIA 'RIPPLE JADE' / RIPPLE JADE EUONYMUS JAPONICUS 'MICROPHYLLUS' / BOXLEAF EUONYMUS LAVANDULA D. 'GOODWIN CREEK GRAY' / LAVENDER	58
	<b>GROUNDCOVER - FLATS OR 1 GAL.</b> LOW WATER USE (0.1 - 0.3 ETO) FESTUCA GLAUCA 'ELIJAH BLUE' / ELIJAH BLUE FESCUE SANTOLINA CHAMAECYPARISSUS / LAVENDER COTTON THYMUS VULGARIS / COMMON THYME TRACHELOSPERMUM JASMINOIDES / STAR JASMINE TRELLIS (MODERATE)	189 SF
	<b>ARTIFICIAL TURF</b> LOW WATER USE (0.1 - 0.3 ETO) 'TIGER TURF'™ DIAMOND PRO FESCUE FACE WEIGHT: 75 OUNCES-PILE HEIGHT: 1.875 INCHES *TOTAL WEIGHT: 102 OZ PER SQUARE YARD	1,034 SF



**PLANTING NOTES:**

- ALL STREET TREES SHALL BE PROVIDED 40 SQ.FT. ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA. THE MINIMUM DIMENSION (WIDTH) OF THIS AREA SHALL BE 5 FEET. THIS MINIMUM DIMENSION AND ROOT ZONE AREA MAY BE REDUCED WITH THE USE OF STRUCTURAL SOIL OR WHERE THE COMBINATION OF SOIL CONDITIONS, ROOT ZONE AREA, ADJACENT IMPROVEMENTS, AND SELECTED TREE SPECIES CAN BE DEMONSTRATED TO PROVIDE HEALTHY TREE GROWTH THAT WILL NOT DAMAGE THE ADJACENT IMPROVEMENTS.
- NON-BIODEGRADABLE TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS, INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND ROOT BALL.
- MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.04111.

**DESIGN STATEMENT**

- PLANTS SELECTED TO ENHANCE THE EXPERIENCE OF PEDESTRIANS AND OCCUPANTS, WITH ACCENT AND SHADE TREES, FLOWERING AND SCREENING SHRUBS, AND PRESERVATION OF OCEAN VISTAS, WHERE POSSIBLE.
- PLANT SPECIES AND HYDROZONES DESIGNED TO BE UNDER THE MAXIMUM ALLOWABLE WATER USAGE STANDARD.

**IRRIGATION NOTES:**

- IRRIGATION SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CRITERIA AND STANDARDS OF THE CITY OF SAN DIEGO LANDSCAPE ORDINANCE SECTION 142.0403 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
- IRRIGATION SYSTEM: COMBINATION OF LOW-WATER EMISSION SPRAY HEADS AND DRIP IRRIGATION SYSTEM.
- ALL REQUIRED PLANT MATERIAL SHALL BE IRRIGATED WITH A PERMANENT, BELOW-GRADE IRRIGATION SYSTEM UNLESS SPECIFIED OTHERWISE IN THIS DIVISION.
- ALL REQUIRED IRRIGATION SYSTEMS SHALL BE AUTOMATIC, ELECTRICALLY CONTROLLED, AND DESIGNED TO PROVIDE WATER TO ALL REQUIRED PLANTINGS TO MAINTAIN THEM IN A HEALTHY, DISEASE-RESISTANT CONDITION.
- IRRIGATION SYSTEMS SHALL MEET THE FOLLOWING DESIGN REQUIREMENTS:
  - NO IRRIGATION RUN-OFF OR OVERSPRAY SHALL CROSS PROPERTY LINES OR PAVED AREAS;
  - THE VELOCITY OF WATER FLOWING IN IRRIGATION SYSTEM PIPING OR SUPPLY PIPES SHALL NOT EXCEED 5 FEET PER SECOND DOWNSTREAM OF THE WATER METER;
  - IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE SYSTEM MAINTENANCE REQUIREMENT AFTER INSTALLATION. ABOVE-GROUND IRRIGATION SYSTEM EQUIPMENT THAT IS EXPOSED TO POTENTIAL DAMAGE SHALL BE DESIGNED TO BE DAMAGE-RESISTANT; AND
  - AN APPROVED RAIN SENSOR SHUT-OFF DEVICE IS REQUIRED FOR ALL SYSTEMS AND A MOISTURE-SENSING DEVICE THAT REGULATES THE IRRIGATION SYSTEM FOR ALL LAWN AREAS IS REQUIRED.

**NOTES:**

- THE OWNER/PERMITEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS SHOWN ON THE APPROVED PLANS, INCLUDING IN THE RIGHT-OF-WAY, UNLESS LONG-TERM MAINTENANCE OF SAID LANDSCAPING SHALL BE THE RESPONSIBILITY OF A LANDSCAPE MAINTENANCE DISTRICT OR OTHER APPROVED ENTITY. ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES CONSISTENT WITH THE CITY OF SAN DIEGO LANDSCAPE REGULATIONS AND STANDARDS.
- "SINGLE-DWELLING UNIT DEVELOPMENT IN A MULTI-DWELLING UNIT ZONE. NO STREET YARD OR REMAINING YARD REQUIREMENTS. ALL LANDSCAPE SHOWN OUTSIDE OF THE RIGHT-OF-WAY SHOWN FOR ILLUSTRATIVE PURPOSES ONLY."
- IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING CONSTRUCTION, THE OWNER/PERMITEE SHALL REPAIR AND/OR REPLACE IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR FINAL INSPECTION.

**RIGHT-OF-WAY NOTES:**

- PER SDMC 142.0409 STREET TREE AND PUBLIC RIGHT-OF-WAY REQUIREMENTS, (B) ADDITIONAL PUBLIC RIGHT-OF-WAY REGULATIONS, (2) "PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB."


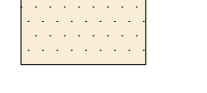

**MINIMUM TREE SEPARATION DISTANCE**

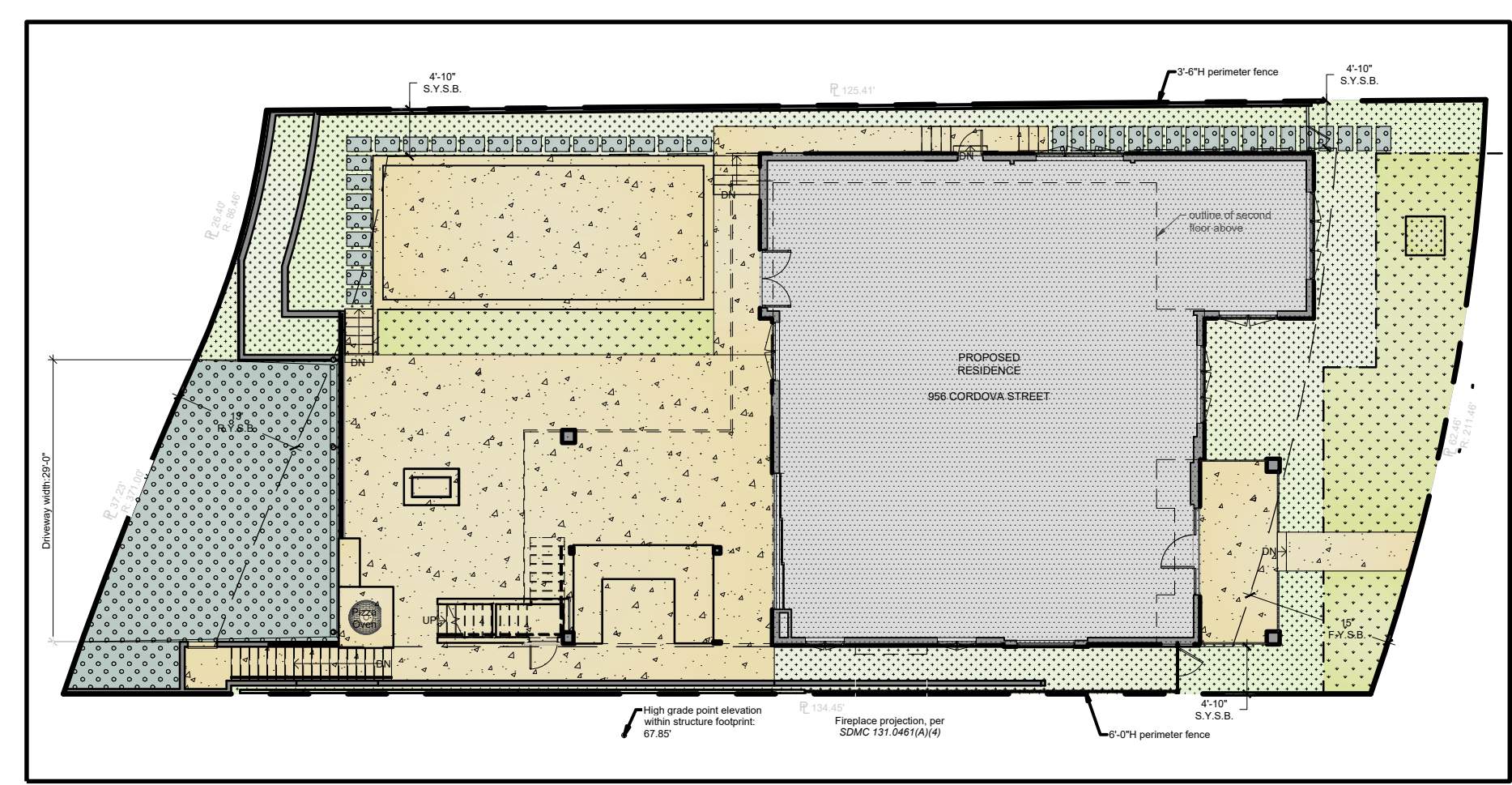
IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS (STOP SIGNS)	20 FEET
UNDERGROUND UTILITY LINES	5 FEET (10 FEET FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY ENTRIES	10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET

**RIGHT-OF-WAY NOTES:**

- 1-24" BOX TREE REQUIRED PER 30' OF STREET FRONTAGE  
 62' STREET FRONTAGE  
 62 / 30 = 2 STREET TREES REQUIRED, 2 PROVIDED

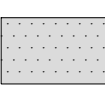
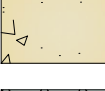
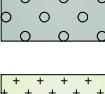


**03 PAVING SCHEDULE**

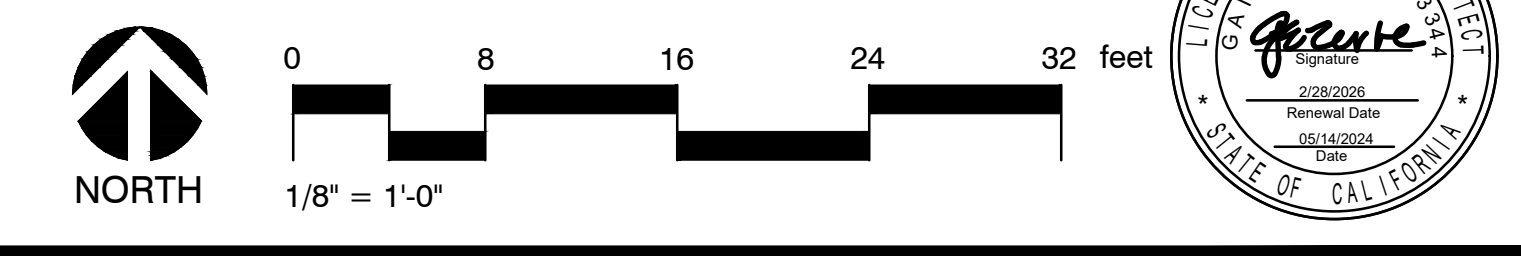
SYMBOL	DESCRIPTION	QTY
	03-01 PROPOSED 18" X 30" CONCRETE STEPPERS, DAVIS COLOR: TBD, TOP CAST #3	146 SF
	03-02 PROPOSED CONCRETE DRIVEWAY PAVING, DAVIS COLOR: TBD	642 SF
	03-03 IMPERMEABLE PAVING, FINISH MATERIAL: TBD	1,712 SF



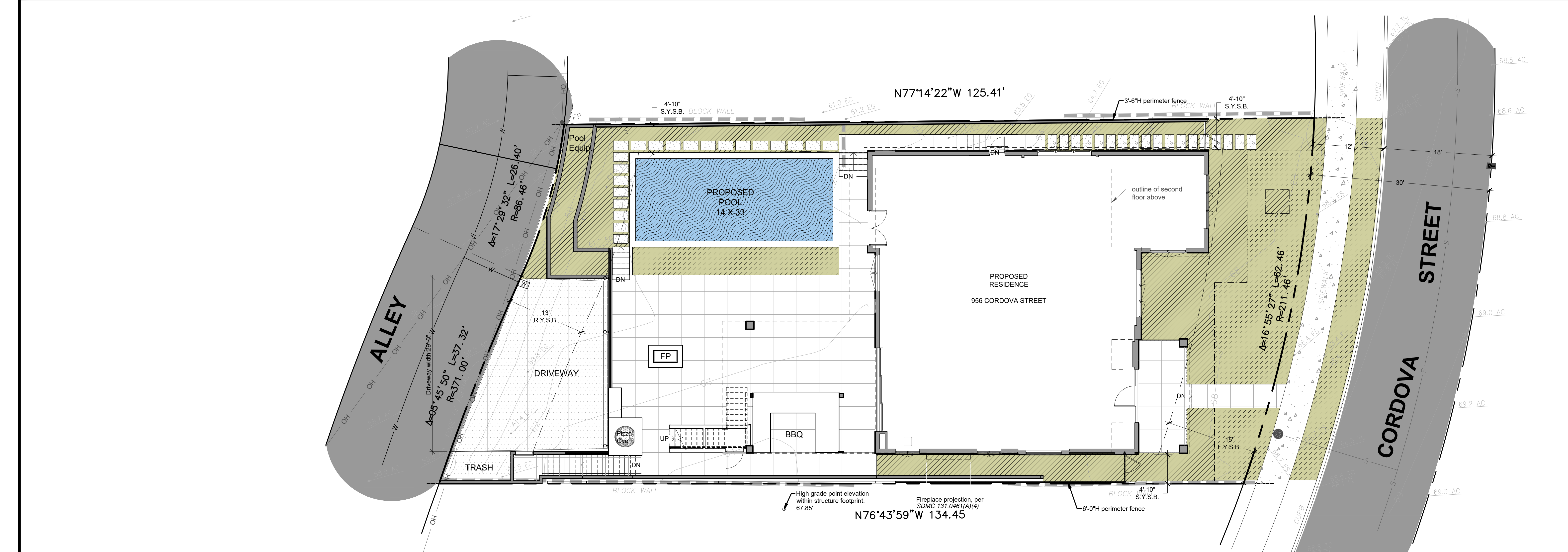
**LANDSCAPE CALCULATION DIAGRAM**  
 SCALE: 1/16" = 1'-0"

**LANDSCAPE CALCULATION SCH.**

SYMBOL	DESCRIPTION	QTY
	BUILDING FOOTPRINT	2,455 SF (31.5%)
	IMPERMEABLE PAVING	2,516 SF (32.5%)
	PERMEABLE PAVING	802 SF (10%)
	LANDSCAPE AREA	1,236 SF (16%)
	LAWN AREA	750 SF (10%)
<b>TOTAL SITE:</b>		<b>7,759 SF (100%)</b>



1" ACTUAL IF THIS DOES NOT MEASURE 1" ACTUAL, THIS DRAWING MAY HAVE BEEN ENLARGED OR REDUCED, AND ALL LABELED SCALES ARE INCORRECT.



City of San Diego Water Budget Calculations

Project: VARDOULAKIS RESIDENCE  
 Date: 5/14/2024

1. MAXIMUM APPLIED WATER ALLOWANCE (MAWA) WATER BUDGET CALCULATION

Residential MAWA =  $[(Eto)(0.62)] + [(0.55)(LA) + (0.45)(SLA)]$

Controller No.	Eto	(0.62)	PF	LA	PF	SLA	Result in Gallons per Year
NA	40	0.62	0.55	2,714.00	0.45	0	37,019
<b>Total MAWA gallons per year:</b>							<b>37,019</b>

2. SYSTEM CONTROLLER INFORMATION TABLE

Controller No.	Hydrozone No.	Valve Circuit	Plant Factor (PF)	Hydrozone Area in s.f. (HA)	Irrigation Method	Irrigation Efficiency (IE)	% Total Landscape Area
NA	1	NA	0.3	1,230.00	DRIP	0.81	0.45
NA	2	NA	0.3	1,030.00	SPRAY	0.75	0.38
NA	3	NA	1	454.00	POOL	1	0.17
				<b>2,714.00 S.F.</b>			<b>100%</b>

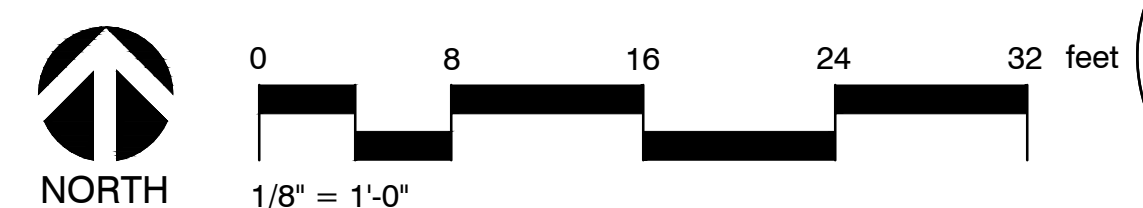
3. ESTIMATED TOTAL WATER USE (ETWU) CALCULATIONS

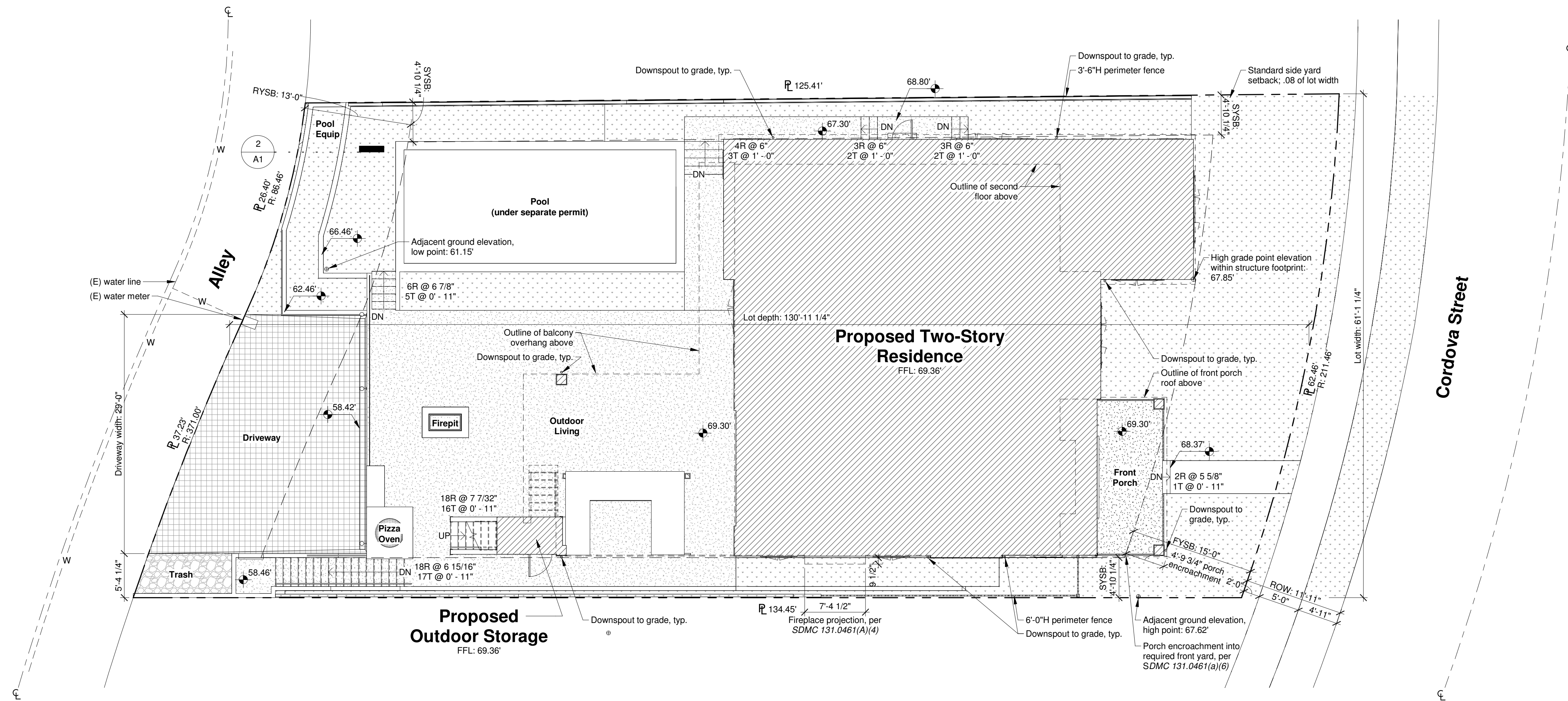
ETWU =  $[(Eto)(0.62)] + [(PF \times HA) / IE + SLA]$

Hydrozone No.	Eto	(0.62)	PF	HA	IE	SLA	Result in Gallons per Year
1	40	0.62	0.30	1,230.00	0.81	NA	11,298
2	40	0.62	0.30	1,030.00	0.75	NA	10,218
3	40	0.62	1.00	454.00	1	NA	11,259
				<b>T. S.F.: 2,714.00 S.F.</b>			<b>32,775</b>
<b>Total ETWU gallons per year:</b>							<b>32,775</b>

HYDROZONE SCHEDULE

- IRRIGATED LANDSCAPE AREAS (INCLUDES RIGHT-OF-WAY)  
TAKEOFF: 2,260 SF
- HYDROZONE 1 - LOW LOW WATER USE, PLANT FACTOR 0.1-0.3, DRIP IRRIGATION  
TAKEOFF: 1,230 SF
- HYDROZONE 2 - LOW - TURF LOW WATER USE, PLANT FACTOR 0.1 - 0.3, OVERHEAD SPRAY (INCLUDES RIGHT-OF-WAY)  
TAKEOFF: 1,030 SF
- HYDROZONE 3 - HIGH - POOL - WATER FEATURE HIGH WATER USE, 0.7 - 1.0.  
TAKEOFF: 454 SF





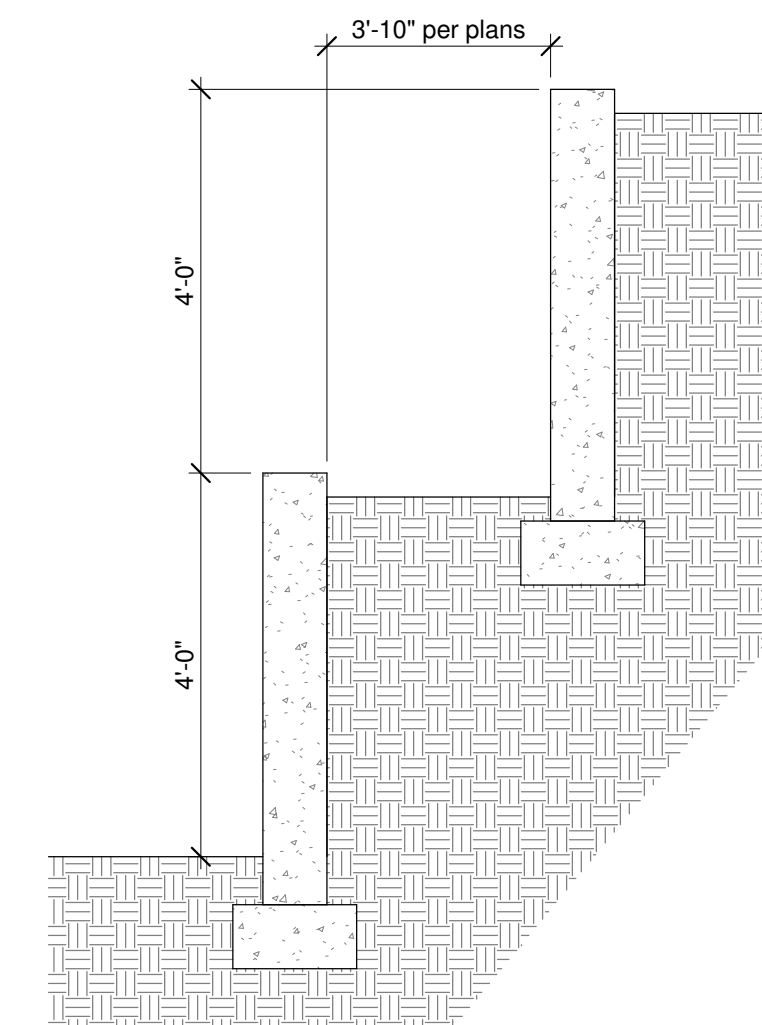
1 Plot Plan  
1/8" = 1'-0"

Legend

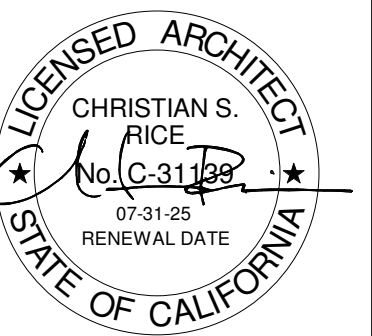
- Concrete
- Landscaping
- Gravel
- Natural Stone Tile
- Permeable Pavers
- Drainage Slope

Lot Coverage:

Category	Area (sq. ft.)	Percentage
Allowed: 50% (3,948.50 sq. ft.)		
Structural Lot Coverage:	3,188 sq. ft. / 7,897 sq. ft.	40.37 %
Landscape Lot Coverage (35% minimum):		
Landscape:	3,001 sq. ft. / 7,897 sq. ft.	38.00 %
Hardscape:	1,699 sq. ft. / 7,897 sq. ft.	21.51 %
Subtotal:	4,700 sq. ft. / 7,897 sq. ft.	59.52 %

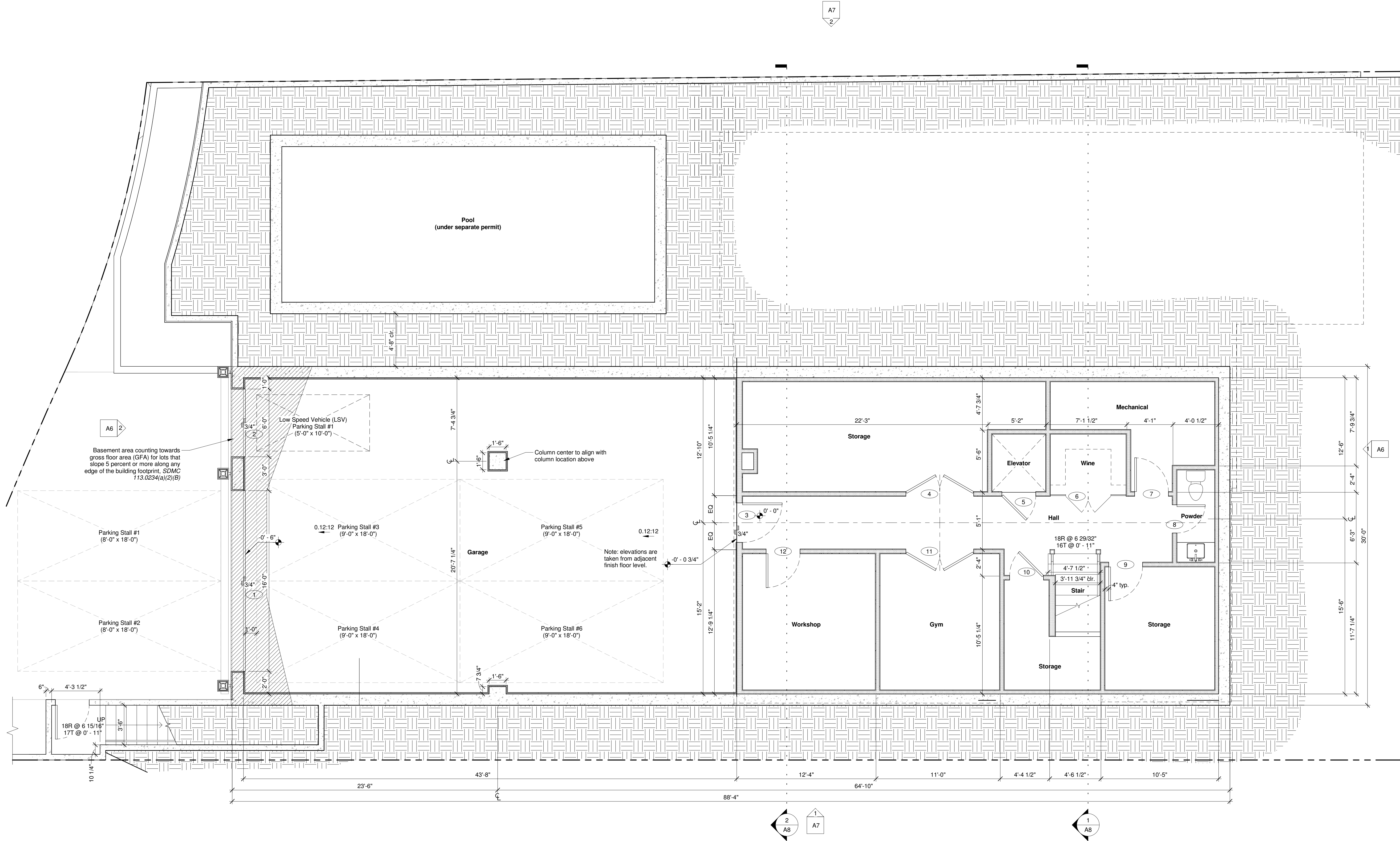


2 Section Detail - Retaining Wall  
1/2" = 1'-0"



drawn by:  
cdb  
drawing date:  
May 31, 2024

revision	date	notes



Basement area counting towards gross floor area (GFA) for lots that slope 5 percent or more along any edge of the building footprint. *SDMC 113.0234(a)(2)(B)*

Note: elevations are taken from adjacent finish floor level.

**1** Basement Floor Plan  
1/4" = 1'-0"

**Vardoulakis Residence**  
956 Cordova Street, San Diego, California 92107

**christian rice architects, inc.**  
1127 loma ave, coronado, ca 92118 p 619.522.9040



drawn by:  
cdb  
drawing date:  
May 31, 2024

revisions:	date	notes

**Basement Floor Plan**

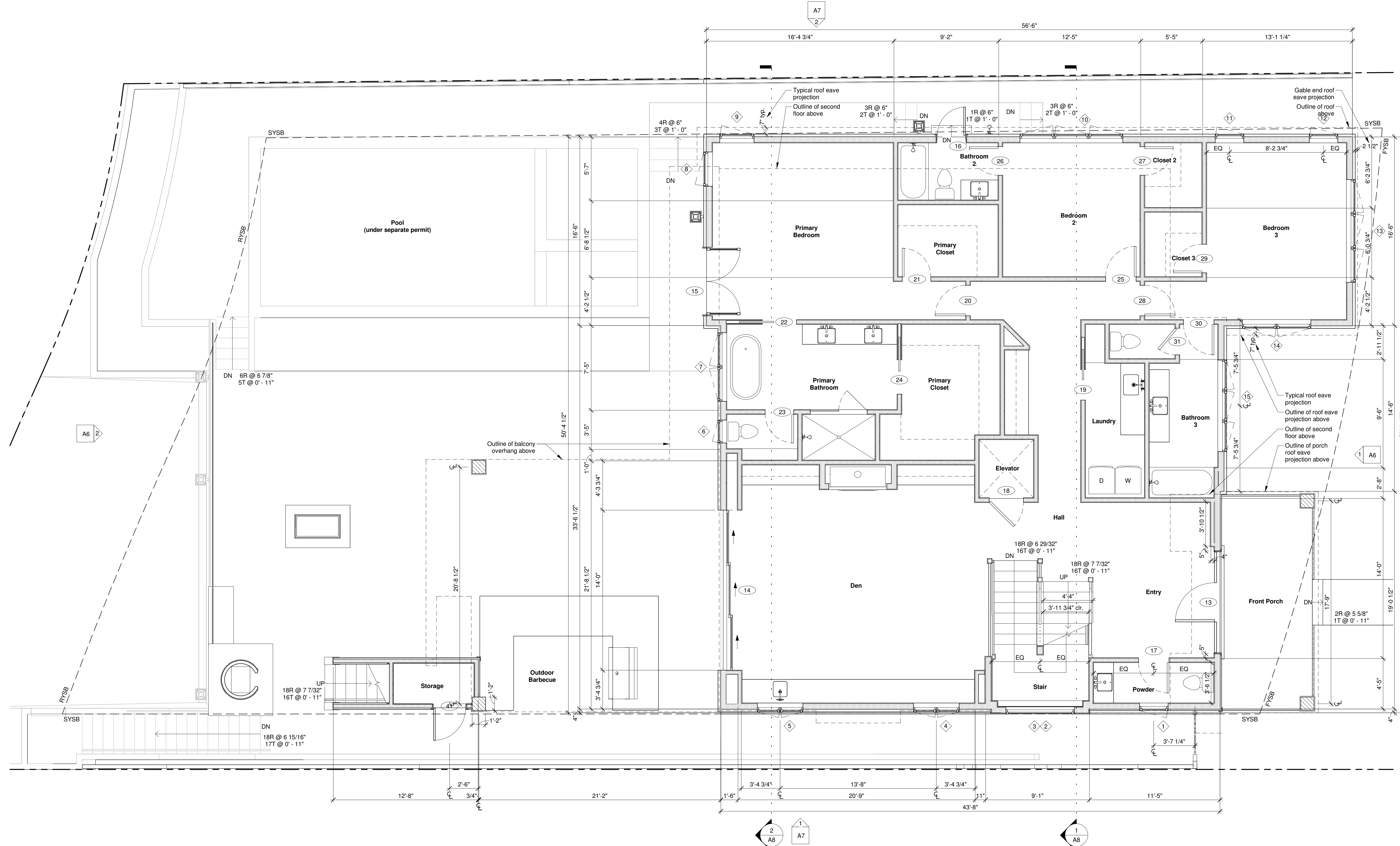
**A2**

project:

architect:

sheet title:

drawing number:



**1** First Floor Plan  
1/4" = 1'-0"

Vardoulakis Residence  
956 Cordova Street, San Diego, California 92107

christian rice architects, inc.  
1127 loma ave, coronado, ca 92118 p 619.522.9040



drawn by:  
cdb  
drawing date:  
May 31, 2024

revisions:	date	notes

First Floor Plan

**A3**

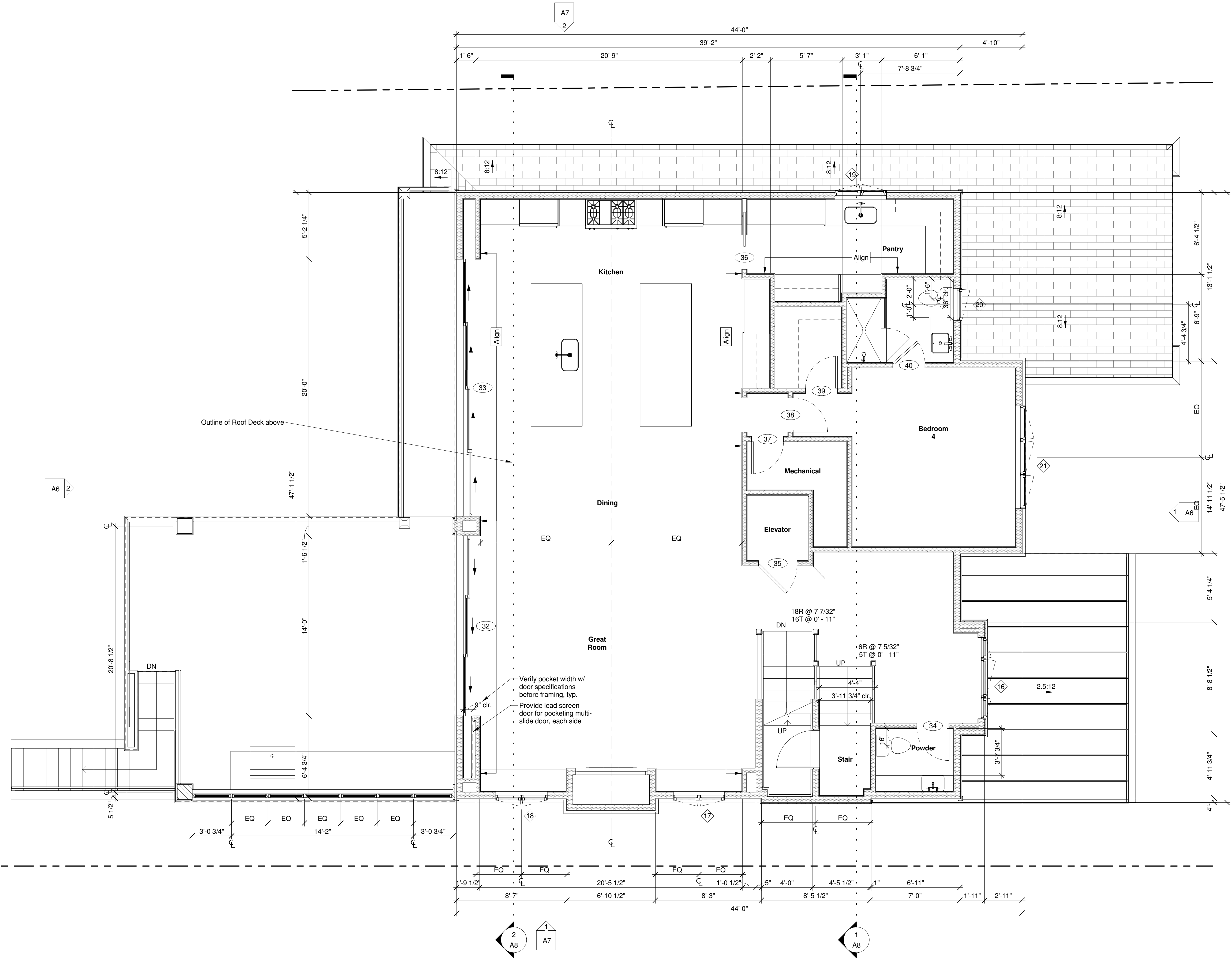
project:

architect:

sheet title:

drawing number:

**1** Second Floor Plan  
1/4" = 1'-0"



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drawn by:  
cdb  
drawing date:  
May 31, 2024

revision	date	notes

**Second Floor Plan**

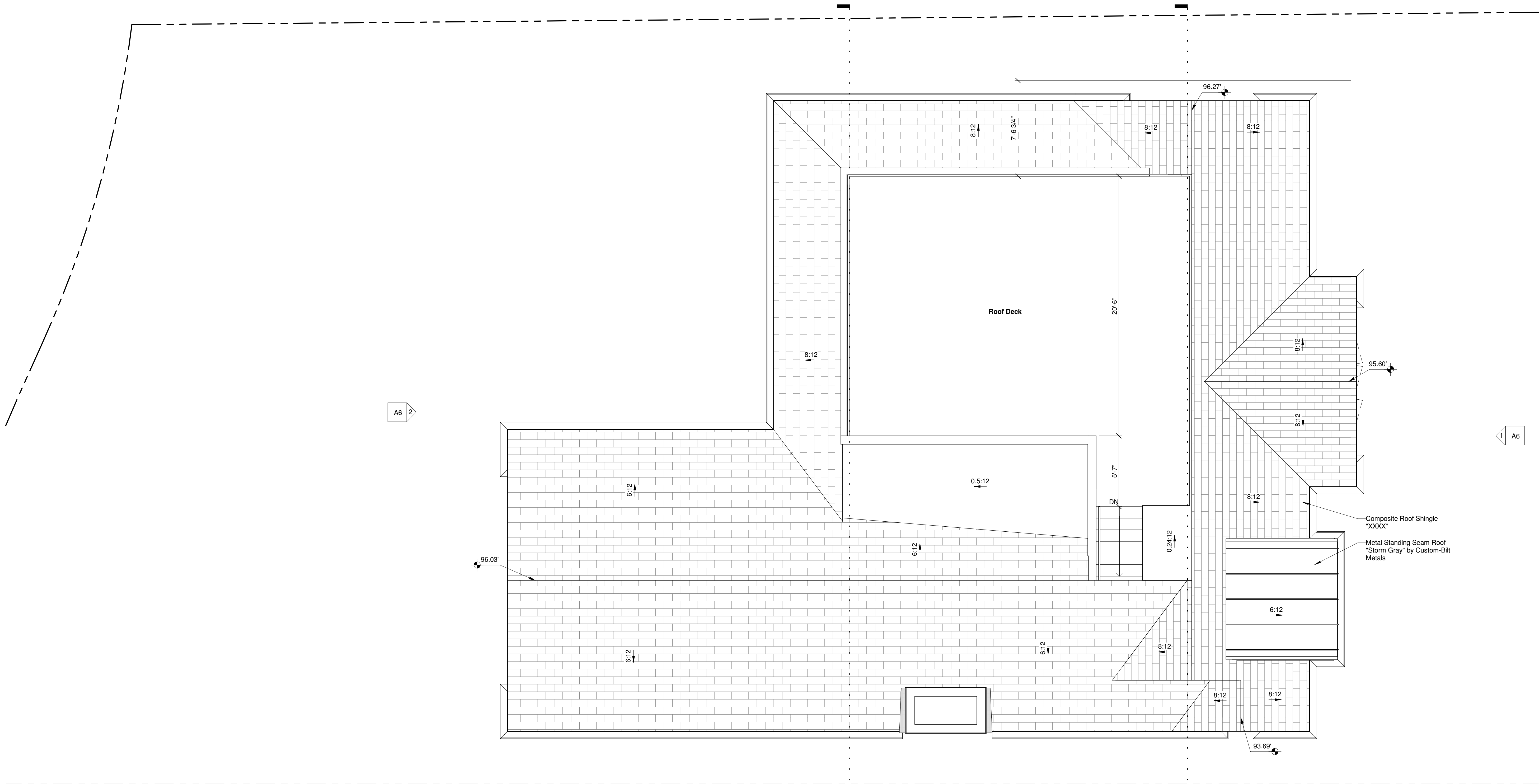
**A4**

project:

architect:

sheet title:

drawing number:



1 Roof Plan  
1/4" = 1'-0"

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revisions:

revision	date	notes

Roof Plan

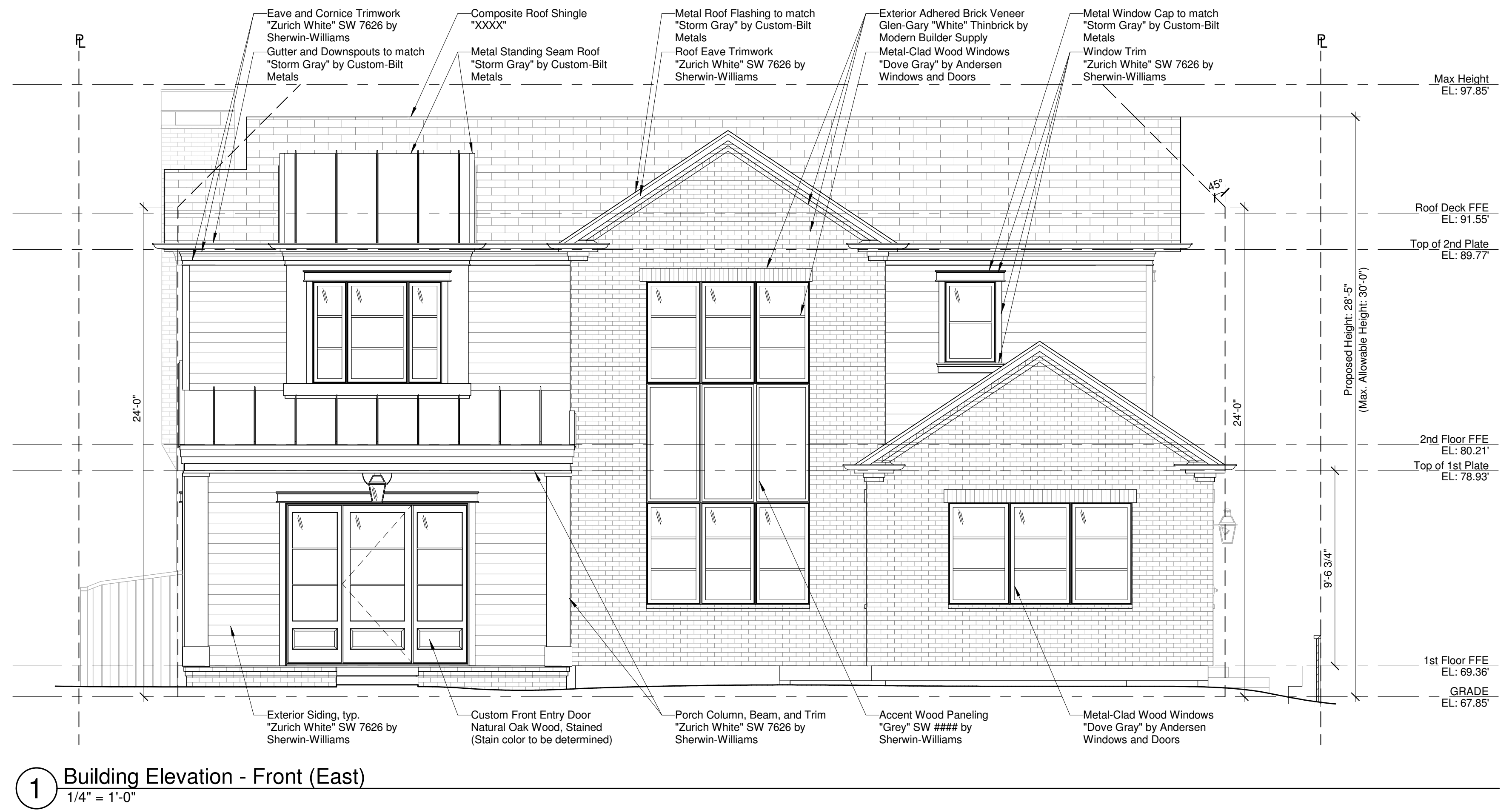
A5

project:

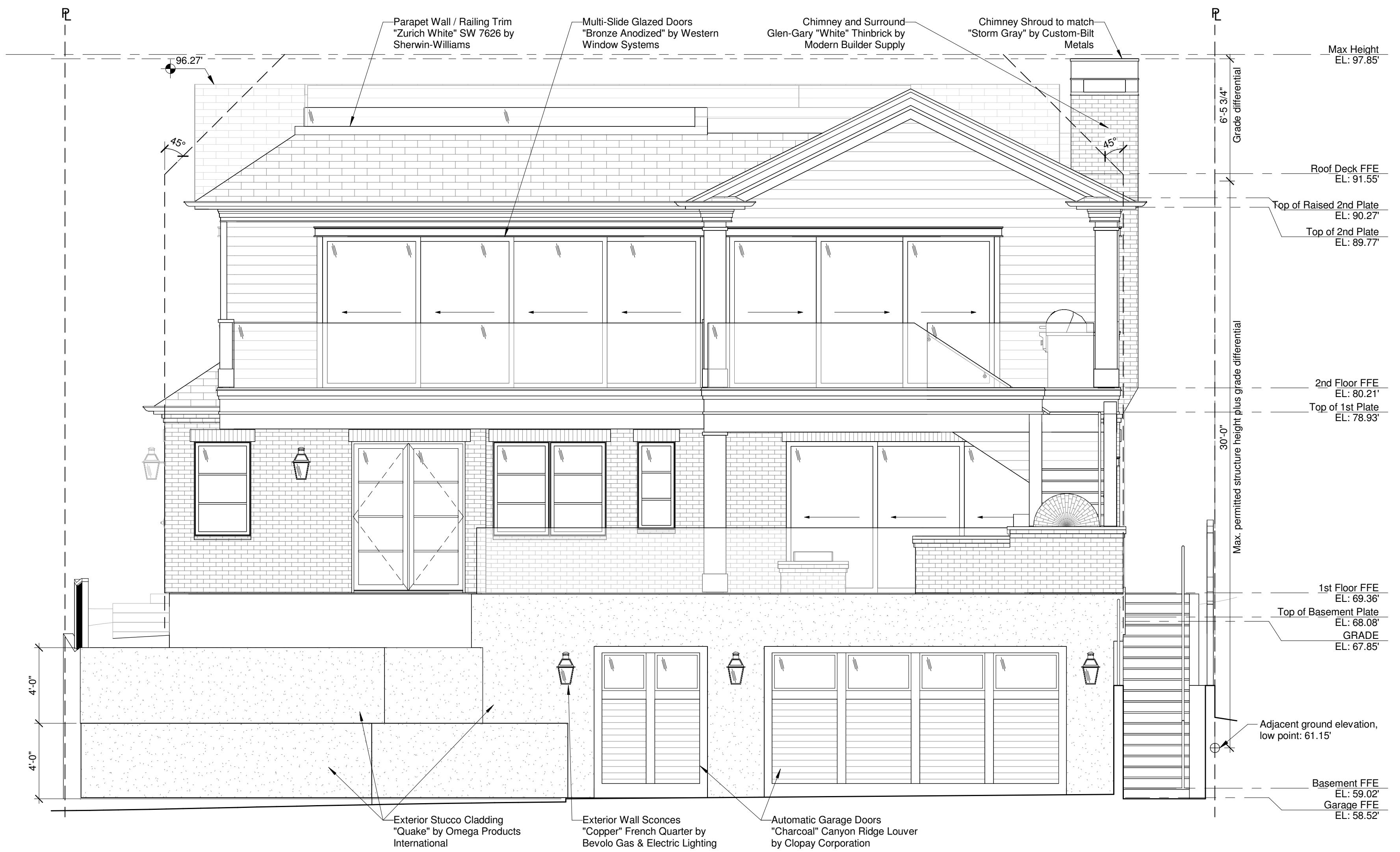
architect:

sheet title:

drawing number:



1 Building Elevation - Front (East)  
1/4" = 1'-0"



2 Building Elevation - Rear (West)  
1/4" = 1'-0"

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Building Elevations

A6

project:

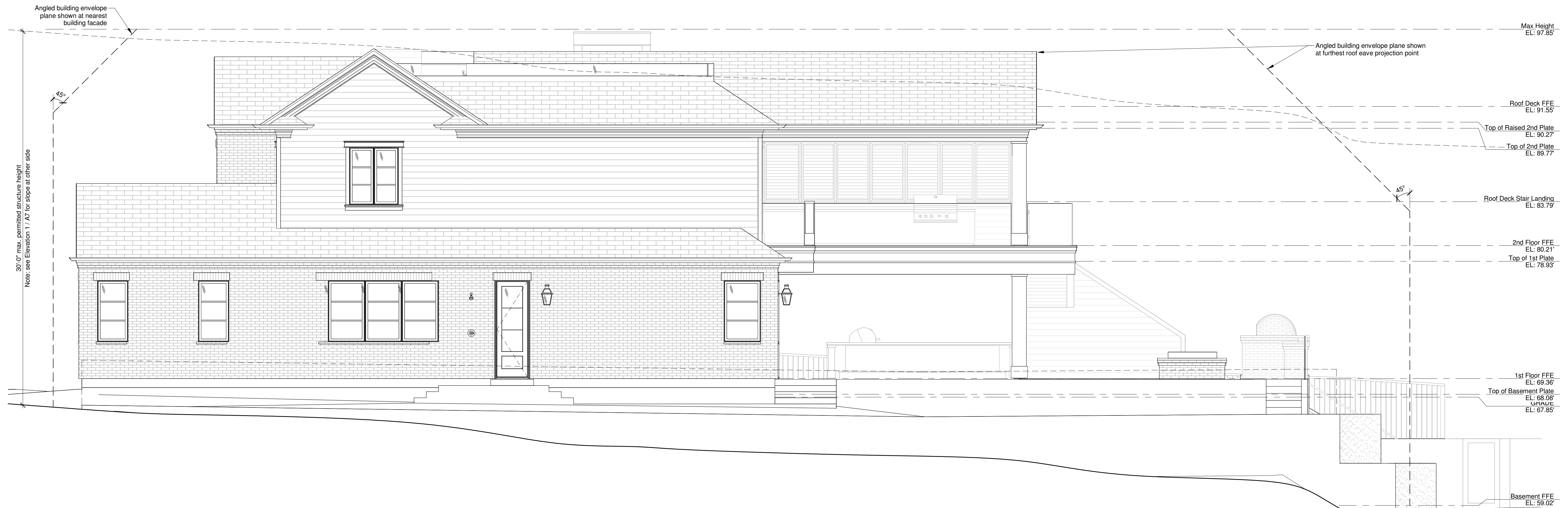
architect:

sheet title:

drawing number:



1 Building Elevation - Side (South)  
1/4" = 1'-0"



2 Building Elevation - Side (North)  
1/4" = 1'-0"

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revisions:

revision	date	notes

Building Elevations

A7

project:

architect:

sheet title:

drawing number: