





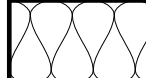

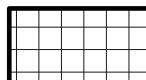







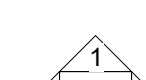







Material Legend

 CONCRETE	 GRAVEL
 GYPSUM	 BRICK
 EARTH	 CLAY TILE
 BATT INSULATION	 CMU
 RIGID INSULATION	 STEEL
 WOOD	 PLYWOOD

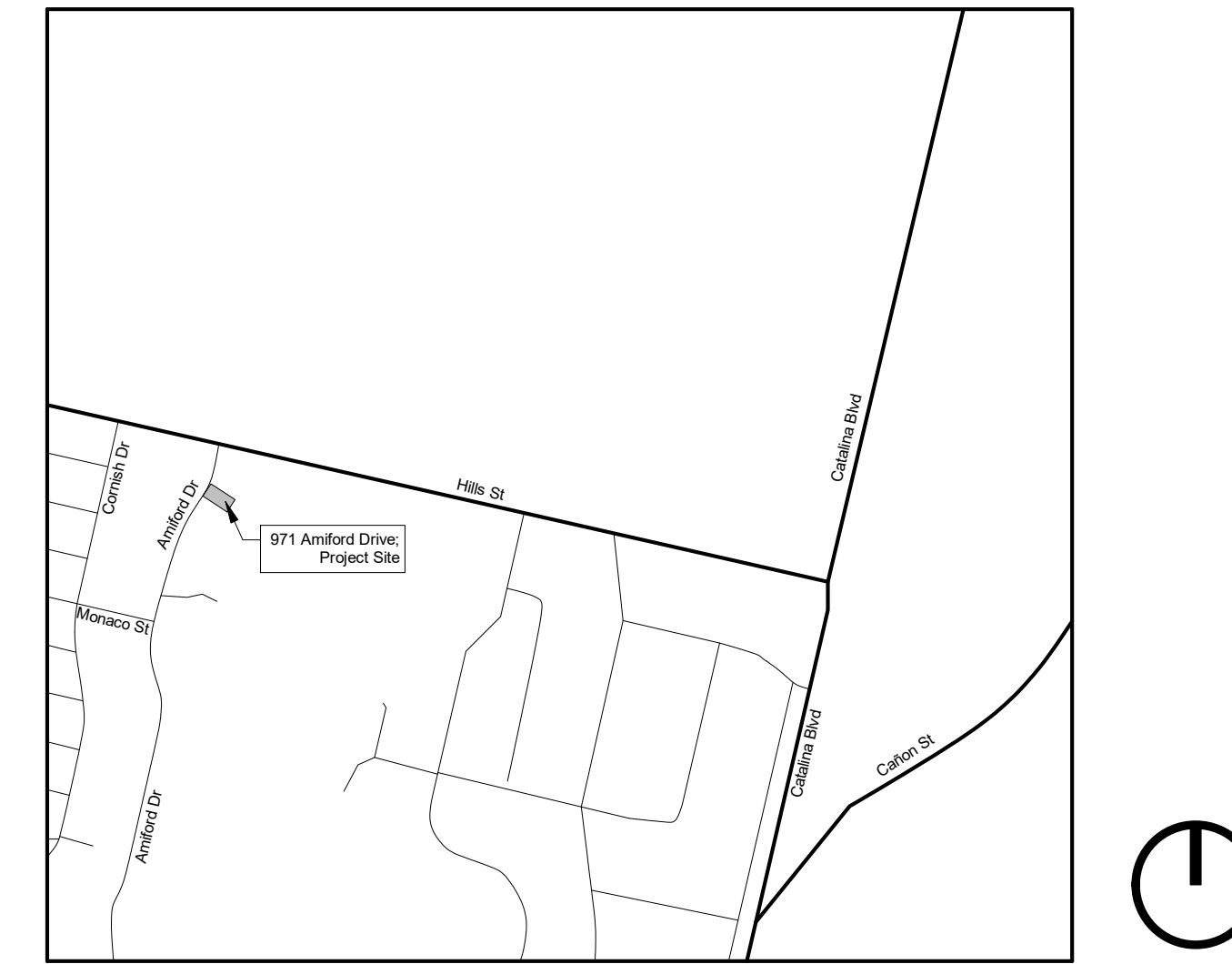
Symbol Legend

 Section: Section Identification Sheet Designation	 Door Designation
 Detail: Detail Identification Sheet Designation	 Wall Type Designation
 Elevation: Elevation Identification Sheet Designation	 Window Designation
 Detail Callout	 Spot Elevation
	 Elevation
	 Revision Tag

Abbreviation

AC	AIR CONDITIONING	HPT	HIGH POINT
AD	AREA DRAIN	HT	HEIGHT
AFF	ABOVE FINISH FLOOR	INCL	INCLUDED
AGGR	AGGREGATE	INSUL	INSULATION
ALT	ALTERNATE	JT	JOINT
ALUM	ALUMINUM	KS	KITCHEN SINK
APPROX	APPROXIMATE	L CL	LINEN CLOSET
ARCH	ARCHITECTURAL	LAM	LAMINATE
ASF	ABOVE STRUCTURAL FLOOR	LAV	LAVATORY
AVG	AVERAGE	LL	LIVE LOAD
B/ or BO	BOTTOM OF	LPT	LOW POINT
BD	BOARD	LV	LOW VOLTAGE
BITUM	BITUMINOUS	MASY	MASONRY
BLDG	BUILDING	MAX	MAXIMUM
BSMT	BASEMENT	MC	MEDICINE CABINET
CAB	CABINET	MECH	MECHANICAL
CEM	CEMENT	MFR	MANUFACTURER
CFM	CUBIC FEET PER MINUTE	MIN	MINIMUM
CL	CENTER LINE	MISC	MISCELLANEOUS
CLG	CEILING	MO	MASONRY OPENING
CLR	CLEAR	MTL	METAL
CMU	CONCRETE MANSONRY UNIT	MW	MICROWAVE
		NIC	NOT IN CONTRACT
		NO	NUMBER
COD	CO DETECTOR	NOM	NOMINAL
COL	COLUMN	NTS	NOT TO SCALE
CONC	CONCRETE	OC	ON CENTER
CONST	CONSTRUCTION	OSD	OPEN SITE DRAIN
CONT	CONTINUOUS	PAN	PANTRY
CPT	CARPET	PL	PLATE
CT	CERAMIC TILE	PLAM	PLASTIC LAMINATE
D	DEEP	PT	PAINT
DBL	DOUBLE	QT	QUARRY TILE
DEPT	DEPARTMENT	R	RADIUS
DIA	DIAMETER	REF	REFRIGERATOR
DIM	DIMENSION	REQD	REQUIRED
DL	DEAD LOAD	REV	REVISION
DN	DOWN	RNG	RANGE
DS	DOWNSPOUT	RO	ROUGH OPENING
DW	DISHWASHER	SC	SOLID CORE
DWG	DRAWING	SD	SMOKE DETECTOR
EA	EACH	SF	SQUARE FEET
EL	ELEVATION	SH	SHELF
ELEC	ELECTRICAL	SST	STAINLESS STEEL
ELEV	ELEVATOR	ST	STAINED
EMER	EMERGENCY	STD	STANDARD
EQ	EQUAL	STL	STEEL
EQPT	EQUIPMENT	T&G	TONGUE AND GROOVE
EXIST	EXISTING	THK	THICKNESS
EXT	EXTERIOR	TYP	TYPICAL
FDTN	FOUNDATION	UNO	UNLESS NOTED OTHERWISE
FL	FLOOR DRAIN	VERT	VERTICAL
FP	FIRE PLACE	VIF	VERIFY IN FIELD
FURN	FURNACE	W	WIDE
G DISP	GARBAGE DISPOSAL	W/D	WASHER / DRYER
GA	GAGE or GAUGE	WC	WATER CLOSET
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	WD	WOOD
		WH	WATER HEATER
GYP BD	GYPSUM BOARD	WIC	WALK-IN CLOSET
HC	HOLLOW CORE	WP	WATERPROOF
HM	HOLLOW METAL	WWF	WELDED WIRE FABRIC
HORIZ	HORIZONTAL		

Vicinity Map



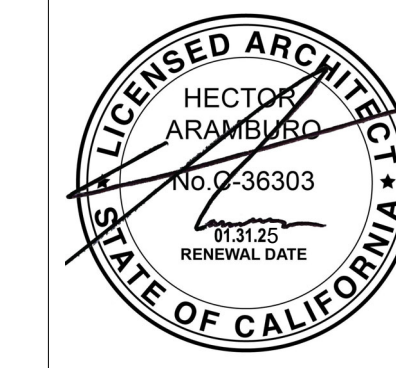
Water Meter Notes

- After the building permit has been issued, the owner shall be responsible for any costs incurred as a result of changes to the design of the fire sprinkler system which produces a higher GPM and a larger meter size requirement.

Owner signature _____
- Water meter for combined domestic water and fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the building official.

FAA Certification:

I, HECTOR ARAMBURDO, do hereby certify that the structure(s) or modification to existing structure(s) shown on these plans do not require Federal Aviation Administration notification because per Section 77.15 (a) of Title 14 of the Code of Federal Regulations CFR Part 77, notification is not required



Note: A pre-construction inspection is required due to the height of the proposed structure in relation to the FAA Part 77 No tification Surface requirements. The pre-construction inspection must be scheduled and cleared by the field inspector before any subsequent inspections can be scheduled. Call (858) 581-7111 to schedule the pre-construction inspection. Contact the Inspection Services office at (858) 492-5070, if you have any questions pertaining to the pre-construction inspection.

Title 24 Energy Compliance Notes

- An electronically signed and registered Installation Certificate(s) (CF2R) posted by the installing contractor shall be submitted to the field inspector during construction at the building site. A registered CF2R will have a unique 21-digit registration number followed by four zeros located at the bottom of each page. The first 12 digits of the number will match the registration number of the associated CF1R. Certificate of Occupancy will not be issued until forms CF2R is reviewed and approved.
- An electronically signed and registered Certificate(s) of Field Verification and Diagnostic Testing (CF3R) shall be posted at the building signed and registered Certificate(s) of Field Verification and Diagnostic Testing (CF3R) shall be posted at the building site by a certified HERS rater. A registered CF3R will have a unique 25-digit registration number located at the bottom of each page. The first 20 digits of the number will match the registration number of the associated CF2R. Certificate of Occupancy will not be issued until CF3R is reviewed and approved.

Sheet Index

100 - General	A201	Exterior Elevations	S1.3	Roof Framing Plan
G000 Cover Sheet	A202	Exterior Elevations	S2.0	Foundation Details
G101 Title Sheet	A301	Building Sections	S2.1	Framing Details - 1
G102 California Green Building Code	A302	Building Sections	S2.2	Framing Details - 2
G103 California Green Building Code	A303	Wall Sections	S2.3	Framing Details - 3
G104 General Specifications	A401	Interior Elevations	S2.4	TJI Details
G105 General Specifications	A402	Interior Elevations		Mechanical
G106 General Specifications	A501	Details	ME1	Mechanical and Electrical Plan - First Floor
Architecture	A502	Details		Mechanical and Electrical Plan - Second Floor
A101 Site Plan	A503	Details	ME2	T24 - Energy Report
A102 Brush Management Plan	A601	Schedules and Legends	ME3	T24 - Energy Report
A103 SDMC Brush Management Notes		Structural	ME4	T24 - Energy Report
A104 Existing/Demo Plans	S0.1	Design Criteria & General Notes	ME5	T24 - Energy Report
A105 Existing/Demo Roof Plan	S0.2	General Notes	ME6	T24 - Energy Report
A106 Proposed First Floor Plan	S1.0	Foundation Plan		Mechanical
A107 Proposed Second Floor Plan	S1.1	Floor Framing Plan	P101	Plumbing Plans
A108 Roof Plan	S1.2	Second Floor & Lower Roof Framing Plan		

Project Directory:

Owner:
Michael & Claire Crawford
971 Amiford Drive
San Diego, California 92107
661.900.4781
xyzmc07@yahoo.com

Contractor:
TBD

Project Architect:
ohms Architects
Hector Aramburo, AIA
1545 Gregory Street
San Diego, California 92102
619.517.8881
h@ohmsarchitects.com

Engineer:
Venkata Rohit Grandhi, P.E
7823 Boxwood Ct.
Highland, California 92346
908.858.6325
rohit.grandi@gmail.com

Scope of Work

Located at 971 Amiford Dr, San Diego, CA 92107, this 7,501.00 SF parcel zoned RS-1-7. The scope proposes an addition and remodel to the first floor of the existing single-family dwelling and a new second floor addition.

Building Department Information:

Project Totals:
Existing First Floor: 1,878 sq. ft.
First Floor Addition: 384 sq. ft.
Second Floor Addition: 1,385 sq. ft.

Total Conditioned Area: 3,647 sq. ft.

Existing Garage: 439 sq. ft.

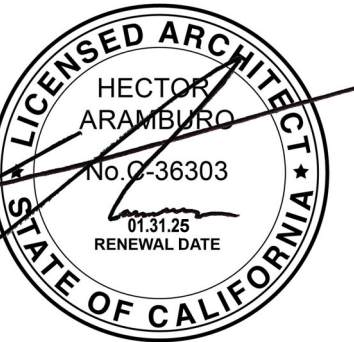
Project Information

Address:	971 Amiford Dr San Diego, CA 92107
APN:	531-440-03-00
Legal Description:	MAP 3077 Block No Lot No 3 MINOS MAR VISTA
Lot Area:	7,501.00 SF
Year Built:	1959
Zoning Classification:	RS-1-7
Overlay Districts:	Airport Land Use Compatibility Overlay Zone (ALUCOZ) Coastal Height Limit Overlay Zone (CHLOZ) Coastal Overlay Zone (COZ) Council District 2 Coastal Overlay Zone First Public Roadway (COZFPR) Affordable Housing Parking Demand - High AIA - SDIA 16'; NAS North Island 146' Brush Management Very High Fire Sensitive Zone (VHFSZ) CCMC - Mobility Zone 4
Construction Type:	VB - Wood Frame
Occupancy:	R3
Fire Sprinklers:	None for existing residence; none for proposed addition
Stories:	2 Stories
Height:	26' - 4 149/256" from grade plane
Parking:	2 Existing Parking Spaces
Structural Coverage:	2,737 SF / 7,501.0 SF = 36.0%
Total Conditioned Area:	3,647 SF
School Fee Area:	1,769 SF
Gross Floor Area:	4,086 SF / 7,501 SF = 54.45%
Floor Area Ratio:	54.45%; 57% Allowed

ohms
Architects

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San Diego, CA 92102
619.517.8881

Crawford Residence
971 Amiford Drive,
San Diego, CA 92107



Drawn By:
HA

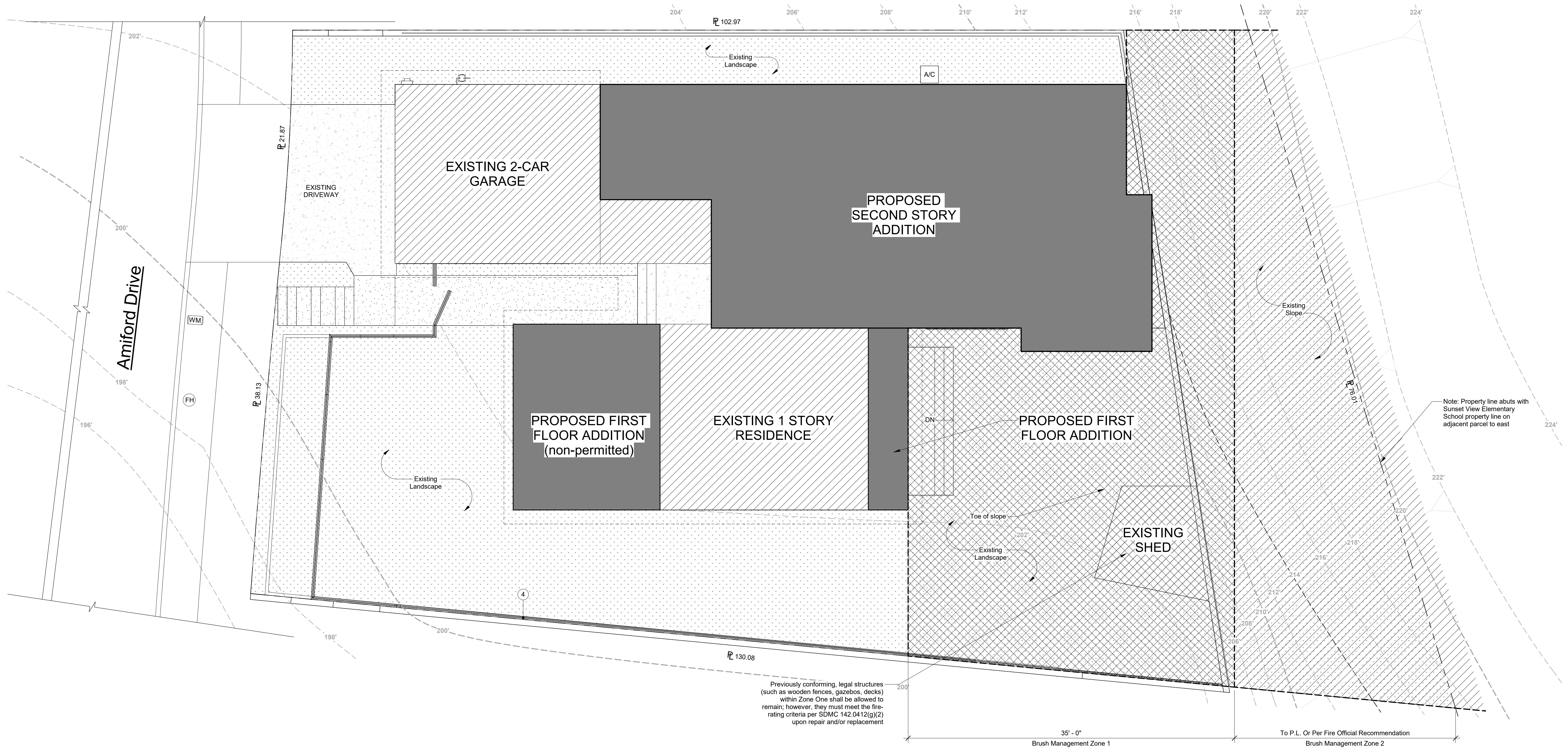
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Revisions:

Revision	Date	Notes

Title Sheet

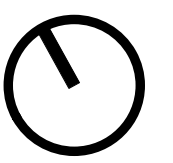
G101



1 Landscape Brush Management Plan
3/16" = 1'-0"

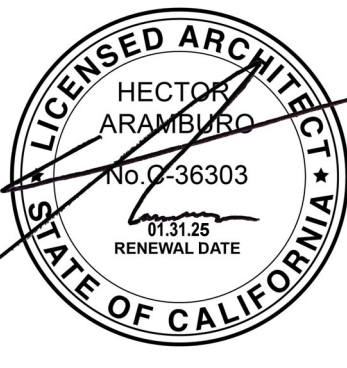
Brush Management Notes:

- All Landscaping / Brush Management within the Brush Management Zone(s) as shown on these plans shall be the responsibility of Owner. The Brush Management Zone areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition.
- The Owner/Permittee shall schedule a pre-construction meeting on site with the contractor and the Development Services Department to discuss and outline the implementation of the Brush Management Program.
- See sheet A103 for additional Brush Management notes.



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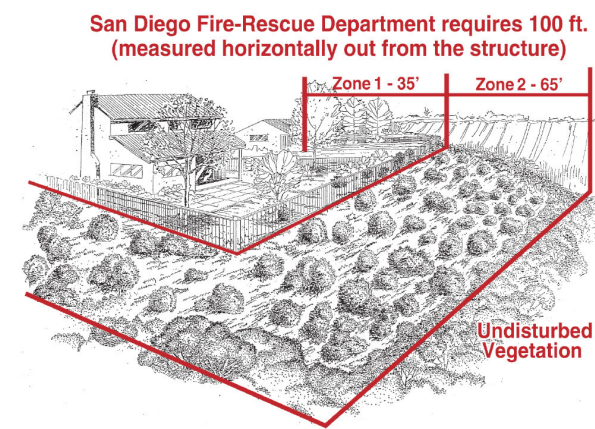
Brush Management Plan

A102

San Diego Municipal Code
§142.0412 - Brush Management

Table 142-04H

	Standard Width	Provided Width
Zone One	35-feet	
Zone Two	65-feet	



(f) The Zone Two width may be decreased by 1 ½ feet for each 1 foot of increase in Zone One width, however, within the Coastal Overlay Zone, a maximum reduction of 30 feet of Zone Two width is permitted.

(g) Zone One Requirements

- (1) The required Zone One width shall be provided between native or naturalized vegetation and any structure and shall be measured from the exterior of the structure to the vegetation.
- (2) Zone One shall contain no habitable structures, structures that are directly attached to habitable structures, or other combustible construction that provides a means for transmitting fire to the habitable structures. Structures such as fences, walls, palapas, play structures, and non-habitable gazebos that are located within brush management Zone One shall be of noncombustible, one hour fire-rated Type IV or heavy timber construction as defined in the California Building Code.
- (3) Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and fire-resistant.
- (4) Trees within Zone One shall be located away from structures to a minimum distance of 10 feet as measured from the structures to the drip line of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual.
- (5) Permanent irrigation is required for all planting areas within Zone One except as follows:
 - (A) When planting areas contain only species that do not grow taller than 24 inches in height, or
 - (B) When planting areas contain only native or naturalized species that are not summer-dormant and have a maximum height at plant maturity of less than 24 inches.
- (6) Zone One irrigation overspray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.
- (7) Zone One shall be maintained on a regular basis by pruning and thinning plants, controlling weeds, and maintaining irrigation systems.

(h) Zone Two Requirements

- (1) The required Zone Two width shall be provided between Zone One and the undisturbed, native or naturalized vegetation, and shall be measured from the edge of Zone One that is farthest from the habitable structure, to the edge of undisturbed vegetation.
- (2) No structures shall be constructed in Zone Two.
- (3) Within Zone Two, 50 percent of the plants over 24 inches in height shall be cut and cleared to a height of 6 inches.
- (4) Within Zone Two, all plants remaining after 50 percent are reduced in height, shall be pruned to reduce fuel loading in accordance with the Landscape Standards in the Land Development Manual. Non-native plants shall be pruned before native plants are pruned.
- (5) The following standards shall be used where Zone Two is in an area previously graded as part of legal development activity and is proposed to be planted with new plant material instead of clearing existing native or naturalized vegetation:
 - (A) All new plant material for Zone Two shall be native, low-fuel, and fire-resistant. No non-native plant material may be planted in Zone Two either inside the MHPA or in the Coastal Overlay Zone, adjacent to areas containing sensitive biological resources.
 - (B) New plants shall be low-growing with a maximum height at maturity of 24 inches. Single specimens of fire resistant native trees and tree form shrubs may exceed this limitation if they are located to reduce the chance of transmitting fire from native or naturalized vegetation to habitable structures and if the vertical distance between the lowest branches of the trees and the top of adjacent plants are three times the height of the adjacent plants to reduce the spread of fire through ladder fueling.
 - (C) All new Zone Two plantings shall irrigated temporarily until established to the satisfaction of the City Manager. Only low-flow, low-gallonage spray heads may be used in Zone Two. Overspray and runoff from the irrigation shall not drift or flow into adjacent areas of native or naturalized vegetation. Temporary irrigation systems shall be removed upon approved establishment of the plantings. Permanent irrigation is not allowed in Zone Two.

- (D) Where Zone Two is being revegetated as a requirement of Section 142.0411(a), revegetation shall comply with the spacing standards in the Land Development Manual. Fifty percent of the planting area shall be planted with material that does not grow taller than 24 inches. The remaining planting area may be planted with taller material, but this material shall be maintained in accordance with the requirements for existing plant material in Zone Two.
- (6) Zone Two shall be maintained on a regular basis by pruning and thinning plants, removing invasive species, and controlling weeds.
- (7) Except as provided in Section 142.0412(i), where the required Zone One width shown in Table 142-04H cannot be provided on premises with existing structures, the required Zone Two width shall be increased by one foot for each foot of required Zone One width that cannot be provided.
- (i) An applicant may request approval of alternative compliance for brush management in accordance with Process One if all of the following conditions exist:
 - (1) The proposed alternative compliance provides sufficient defensible space between all structures on the premises and contiguous areas of native or naturalized vegetation as demonstrated to the satisfaction of the Fire Chief based on documentation that addresses the topography of the site, existing and potential fuel load, and other characteristics related to fire protection and the context of the proposed development.
 - (2) The proposed alternative compliance minimizes impacts to undisturbed native or naturalized vegetation where possible while still meeting the purpose and intent of Section 142.0412 to reduce fire hazards around structures and provide an effective fire break.
 - (3) The proposed alternative compliance is not detrimental to the public health, safety, and welfare of persons residing or working in the area.
- (j) If the Fire Chief approves alternative compliance in accordance with this section, the modifications shall be recorded with the approved permit conditions if approved as part of a development permit, or noted in the permit file if approved as part of a construction permit.
- (k) For existing structures, the Fire Chief may require brush management in compliance with this section for any area, independent of size, location, or condition if it is determined that an imminent fire hazard exists.
- (l) Brush management for existing structures shall be performed by the owner of the property that contains the native and naturalized vegetation. This requirement is independent of whether the structure being protected by brush management is owned by the property owner subject to these requirements or is on neighboring property.

San Diego Landscape Standards
Section III - Brush Management

3-1 BRUSH MANAGEMENT - DESCRIPTION

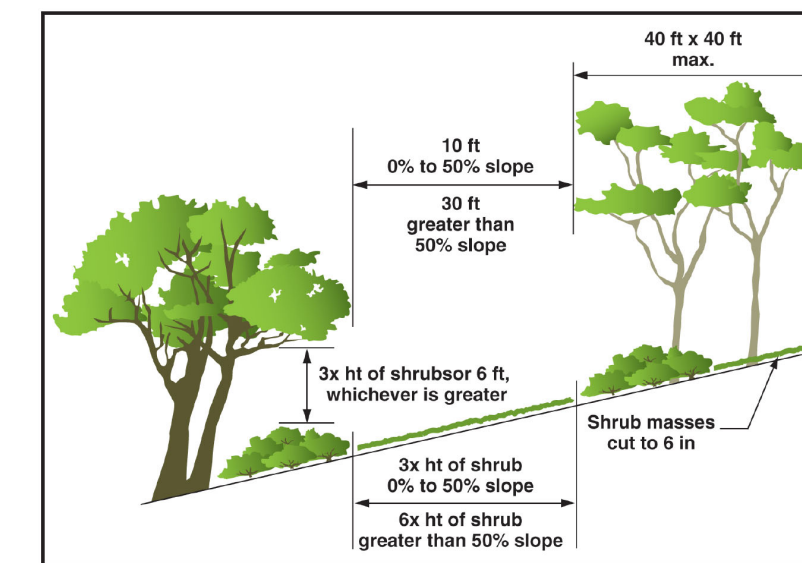
Fire safety in the landscape is achieved by reducing the readily flammable fuel adjacent to structures. This can be accomplished by pruning and thinning of native and naturalized vegetation, revegetation with low fuel volume plantings or a combination of the two. Implementing brush management in an environmentally appropriate manner requires a reduction in the amount and continuity of highly flammable fuel while maintaining plant coverage for soil protection. Such a transition will minimize the visual, biological and erosion impacts while reducing the risks of wildland fires.

3-2 BRUSH MANAGEMENT- REQUIREMENTS

3.2-1 Basic requirements - All Zones

- 3.2-1.01 For zone two, plants shall not be cut below six inches.
- 3.2-1.02 Debris and trimmings produced by thinning and pruning shall be removed from the site or if left, shall be converted into mulch by a chipping machine and evenly dispersed, non-irrigated, to a maximum depth of 6 inches.
- 3.2-1.03 Trees and large tree form shrubs (e.g., Oaks, Sumac, Toyon) which are being retained shall be pruned to provide clearance of three times the height of the under story plant material or six feet whichever is higher (Figure 3-1). Dead and excessively twiggy growth shall also be removed.

Figure 3-1
Pruning Trees to Provide Clearance for Brush Management



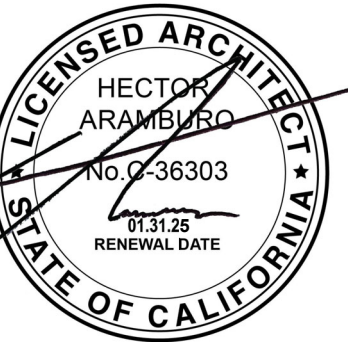
- 3.2-1.04 All plants or plant groupings except cacti, succulents, trees and tree-form shrubs shall be separated by a distance three times the height of the tallest adjacent plants (Figure 3-1).
 - 3.2-1.05 Maximum coverage and area limitations as stated herein shall not apply to indigenous native tree species (i.e., Pinus, Quercus, Platanus, Salix and Populus).
- 3.2-2 Zone 1 Requirements - All Structures
- 3.2-2.01 Do not use, and remove if necessary, highly flammable plant materials (see Appendix "B").
 - 3.2-2.02 Trees should not be located any closer to a structure than a distance equal to the tree's mature spread.
 - 3.2-2.03 Maintain all plantings in a succulent condition.
 - 3.2-2.04 Non-irrigated plant groupings over six inches in height may be retained provided they do not exceed 100 square feet in area and their combined coverage does not exceed 10 percent of the total Zone 1 area.

3.2-3 Zone 2 Requirements - All Structures

- 3.2-3.01 Individual non-irrigated plant groupings over 24 inches in height may be retained provided they do not exceed 400 square feet in area and their combined coverage does not exceed 30 percent of the total Zone 2 area.

Brush Management Maintenance Notes

1. General Maintenance - Regular inspections and landscape maintenance are necessary to minimize the potential damage or loss of property from brush fires and other natural hazards such as erosion and slope failures. Because each property is unique establishing a precise maintenance schedule is not feasible. For effective fire and watershed management, however, property owners should expect to provide maintenance according to each brush management zone: Zone 1: Year-round maintenance, Zone 2: Seasonal maintenance. Brush management activities are prohibited within coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Manager that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.
2. Brush Management Zone 1 - This is the most critical area for fire and watershed safety. All ornamental plantings should be kept well watered and any irrigation run-off should drain toward the street. Rain gutters and drainage pipes should be cleaned regularly and all leaves removed from the roof before the fire season begins. All planting, particularly non-irrigated natives and large trees should be regularly pruned to eliminate dead fuels, to reduce excessive fuel and to provide adequate space between plants and structures.
3. Brush Management Zone 2 - Seasonal maintenance in this zone should include removal of dead woody plants, eradication of weedy species and periodic pruning and thinning of trees and shrubs. Removal of weeds should not be done with hand tools such as hoes, as this disturbs valuable soil. The use of weed trimmers or other tools which retain short stubble that protects the soil is recommended. Native shrubs should be pruned in the summer after the major plant growth occurs. Well pruned healthy shrubs should typically require several years to build up excessive live and dead fuel. On slopes all drainage devices must be kept clear. Re-inspect after each major storm since minor soil slips can block drains. Various groundcovers should be periodically sheared and thatch removed. Diseased and dead wood should be pruned from trees. Fertilizing trees and shrubs is not typically recommended as this may stimulate excessive growth.
4. Long-term Maintenance Responsibility - All Landscaping / Brush Management within the Brush Management Zone(s) as shown on these plans shall be the responsibility of [please Specify, e.g. Owner, H.O.A.]. The Brush Management Zone areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition.

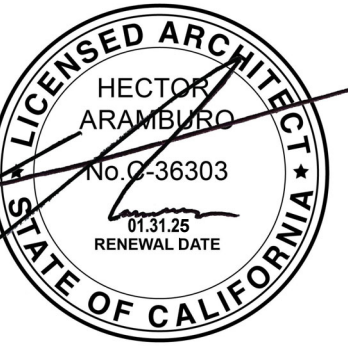


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Revisions:

Revision	Date	Notes



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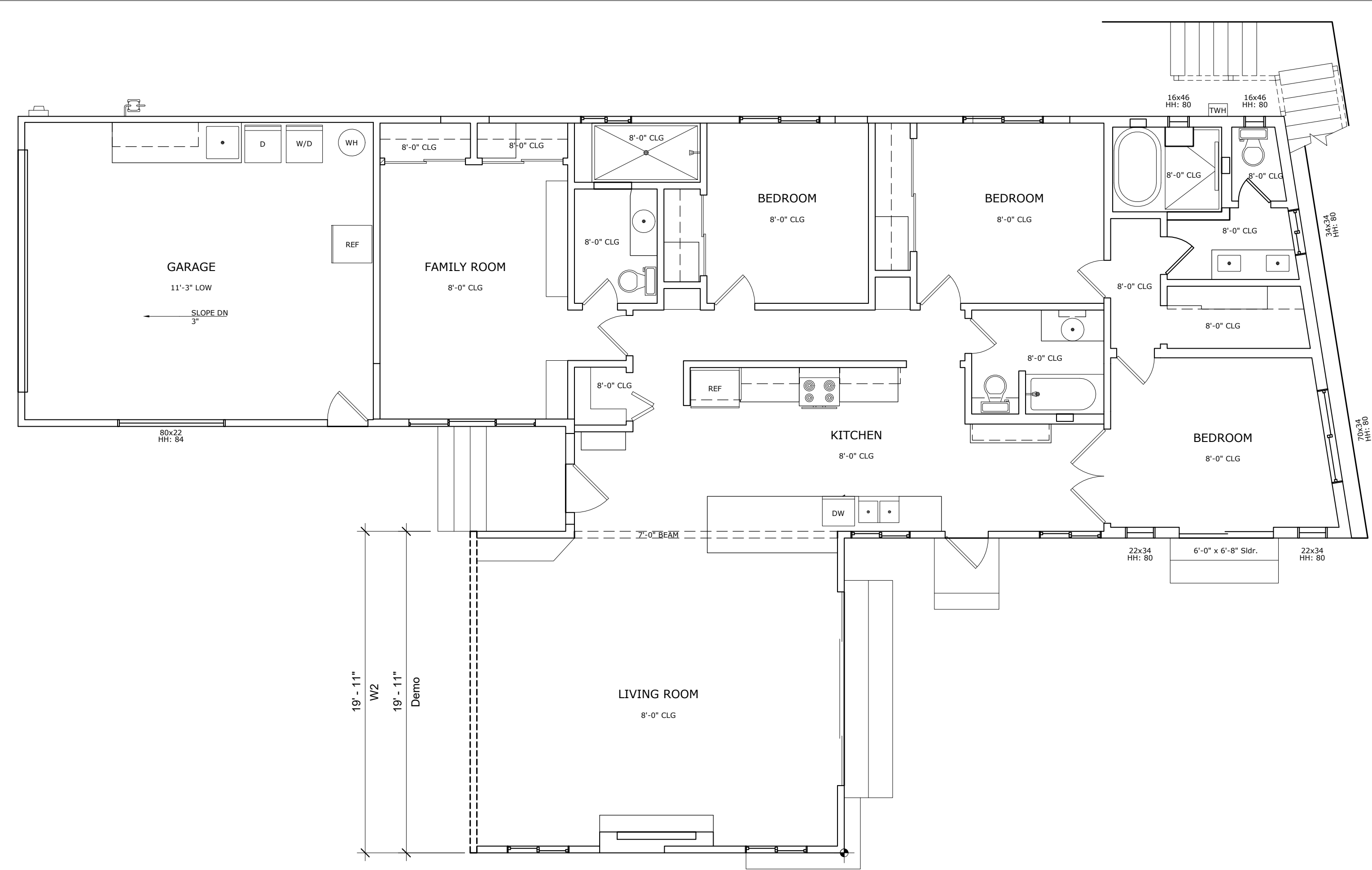
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Existing/Demo Plans

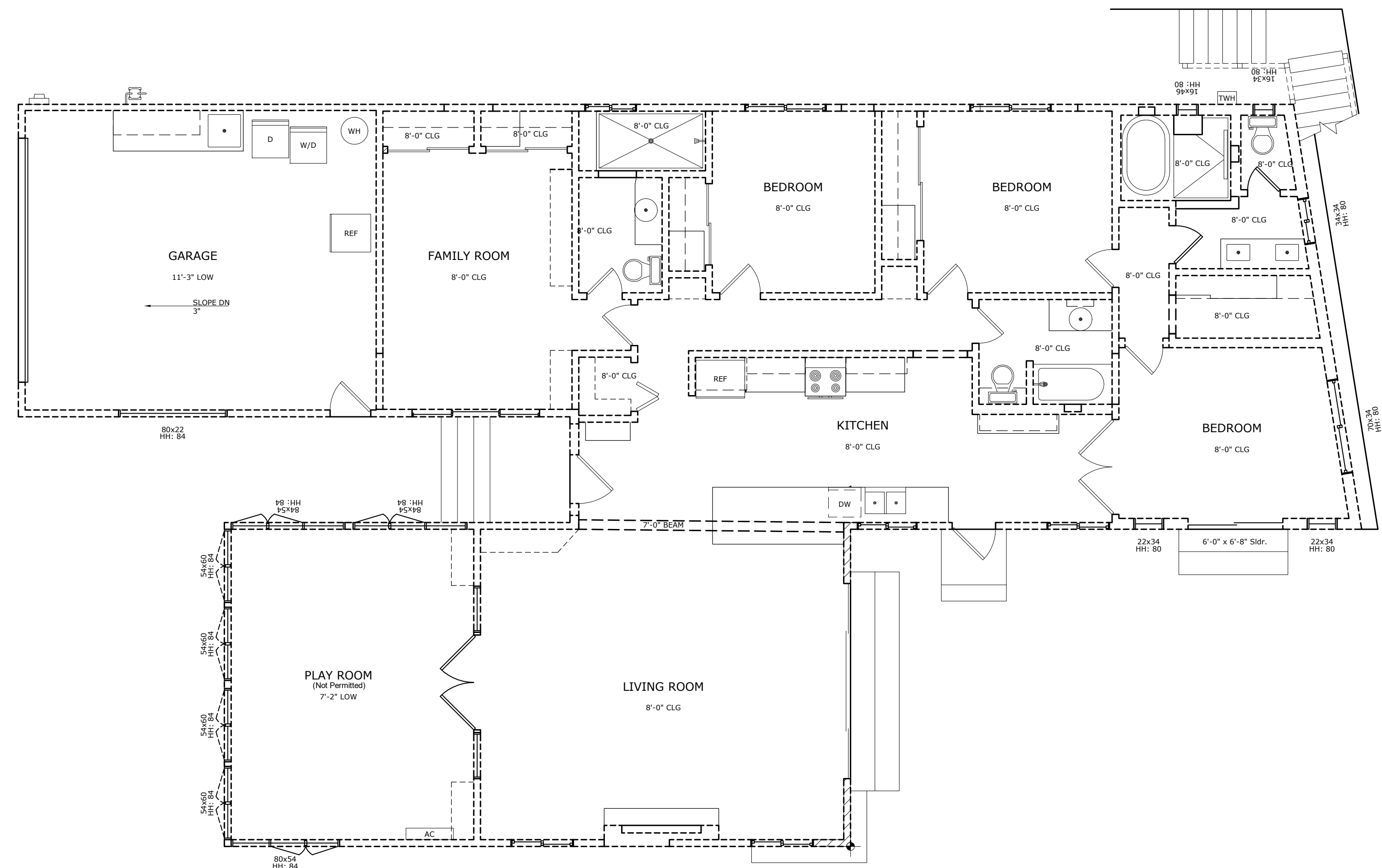
A104



1 Existing/Demo Previously Non-Permitted
3/16" = 1'-0"

Demolition Schedule			
Wall	Existing Wall Length	Removed Wall Length	Remaining Wall Length
W1	23' - 2"	10' - 1 5/8"	13' - 0 3/8"
W2	19' - 11"	19' - 11"	0
W3	5' - 11"	0	5' - 11"
W4	6' - 6"	5' - 7 1/2"	10 1/2"
W5	33' - 11"	7' - 10"	26' - 1"
W6	19' - 2 1/2"	0	19' - 2 1/2"
W7	78' - 4 7/8"	11' - 0"	67' - 4 7/8"
W8	26' - 7 3/4"	0	26' - 7 3/4"
W9	32' - 5 1/8"	4' - 1"	28' - 4 1/8"
W10	19' - 6"	19' - 6"	0
Total	265' - 7 1/4"	78' - 1 1/8"	187' - 6 1/8"

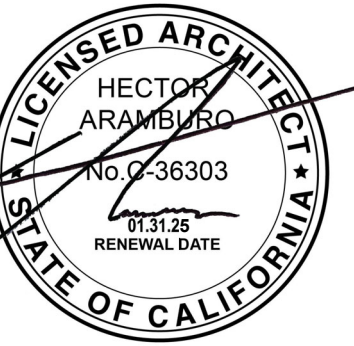
70.4% of Existing Wall Length to Remain



2 Existing/Demo Plan
3/16" = 1'-0"

Legend

- Walls to be Demolished
- Existing Walls to Remain
- Casement to be Demolished



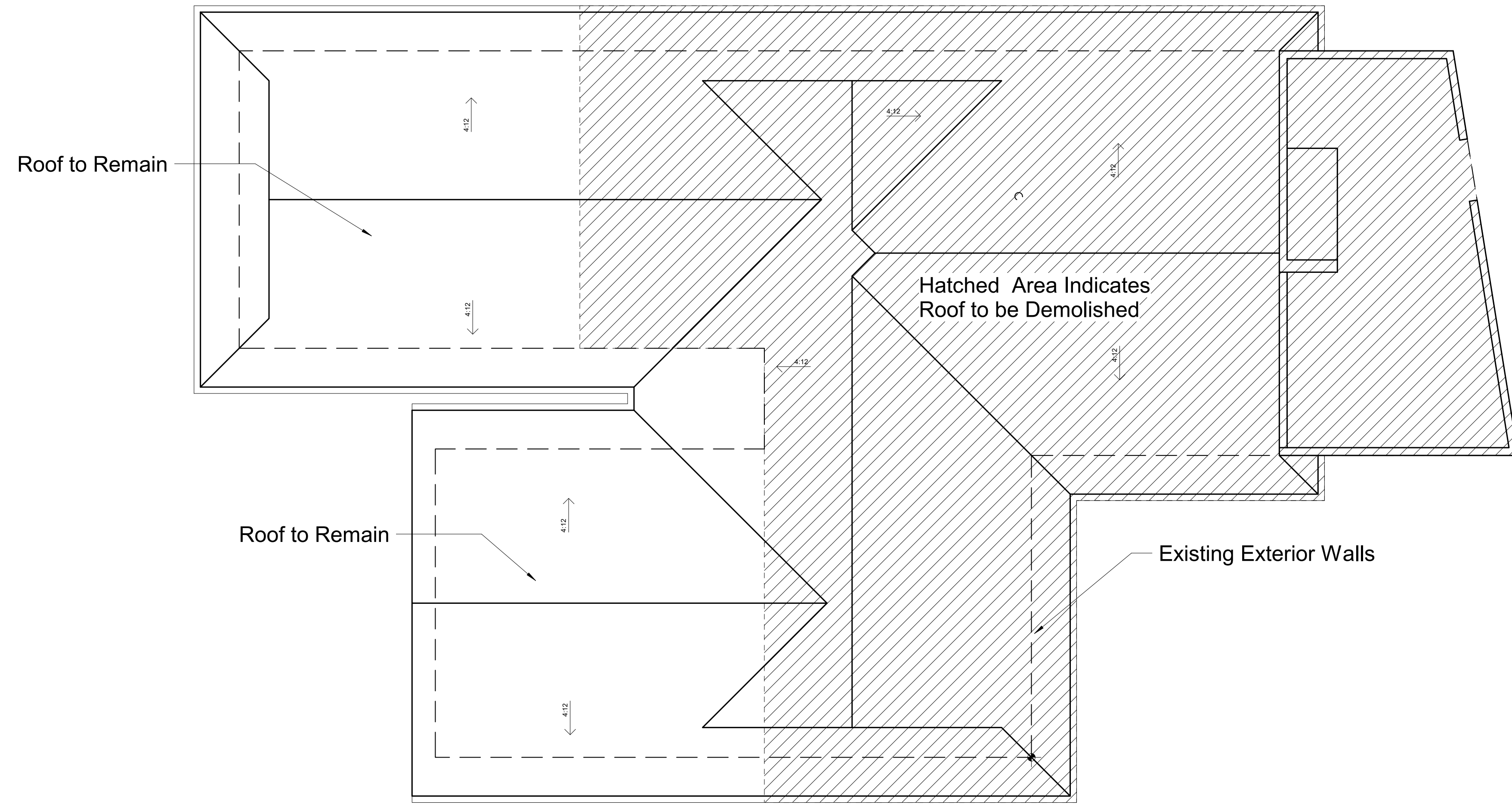
Drawn By:
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Drawing Date:
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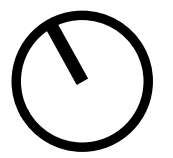
Revisions:

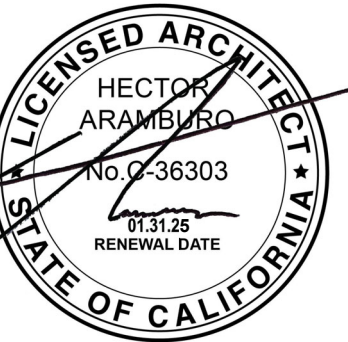
Revision	Date	Notes

Existing/Demo
Roof Plan



1 Existing/Demo Roof Plan
3/16" = 1'-0"





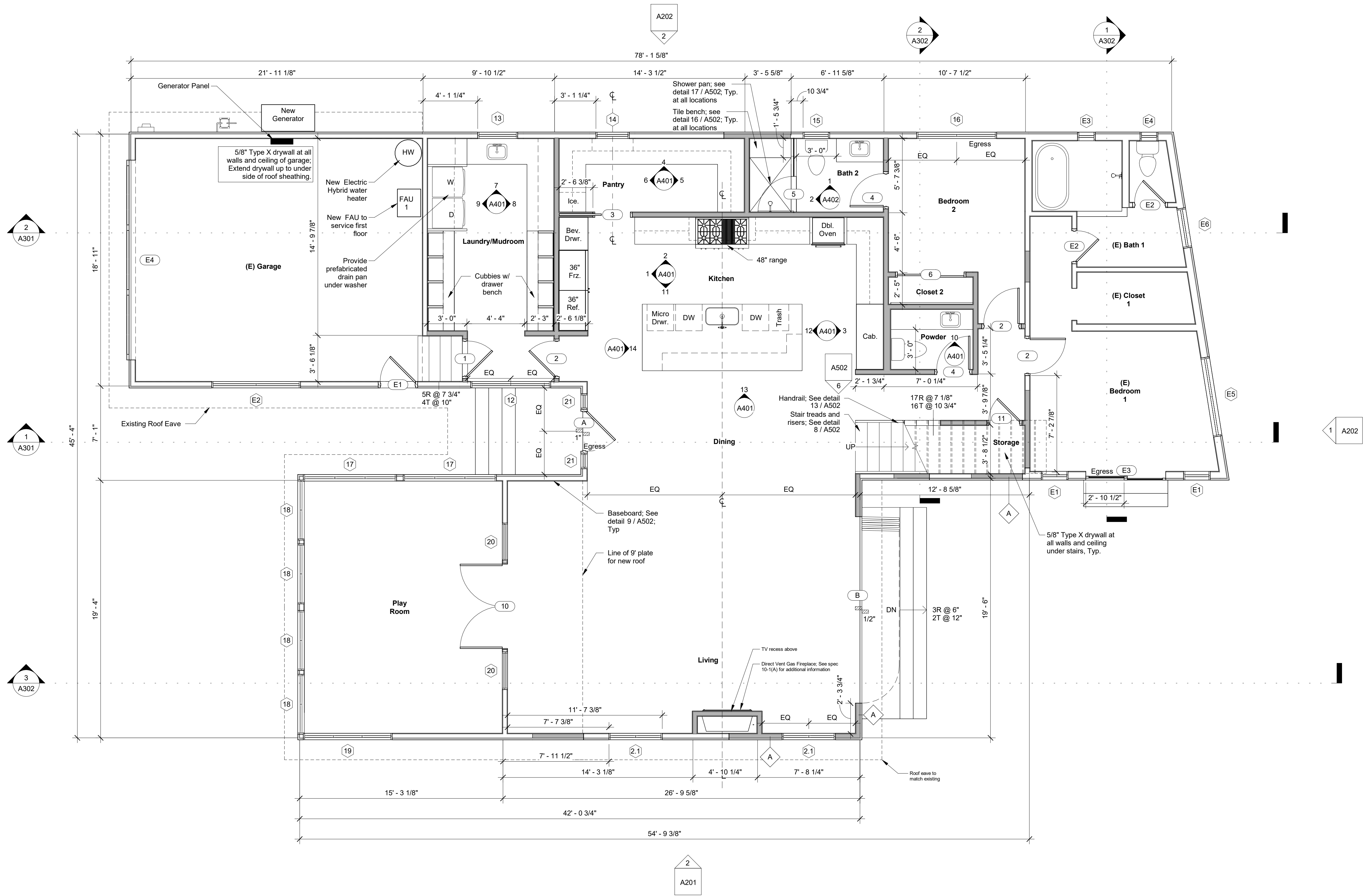
Drawn By:
HA
Drawing Date:
07/27/2024

Revisions:

Revision	Date	Notes

Proposed First
Floor Plan

A106



1 Proposed First Floor Plan
1/4" = 1'-0"

Wall Legend

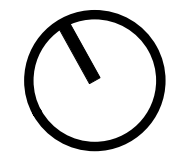
- Proposed Stud Wall
- Existing Stud wall

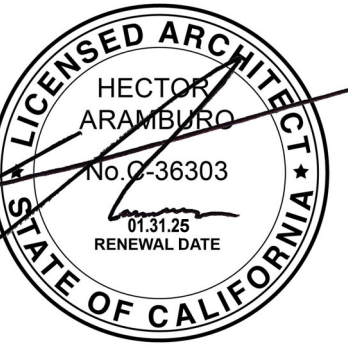
Wall Type Schedule

Type	Fire Rating	Sound Rating	Detail	Comments
A	N/A	N/A	1 / A501	Stucco
B	N/A	N/A	2 / A501	Horizontal Siding
C	N/A	N/A	3 / A501	Interior
D	N/A	N/A	4/A501	Interior Staggered Wall

General Notes

1. All dimensions are to face of stud, concrete, or masonry, unless noted otherwise. Do not scale drawings. Refer to drawing G101 for typical symbols and abbreviations.
2. Refer to drawings **G104** through **G106** for specifications. Contractor to coordinate wall types. Where required to align wall finishes, provide additional layer of gypsum board as required.
3. Provide shelving in all closets per architect's direction.
4. All interior walls to be type 'C', unless noted otherwise.
5. Penetrations of fire-resistive walls, floor/ceilings, and roof/ceilings shall be protected as required by CBC section 714.





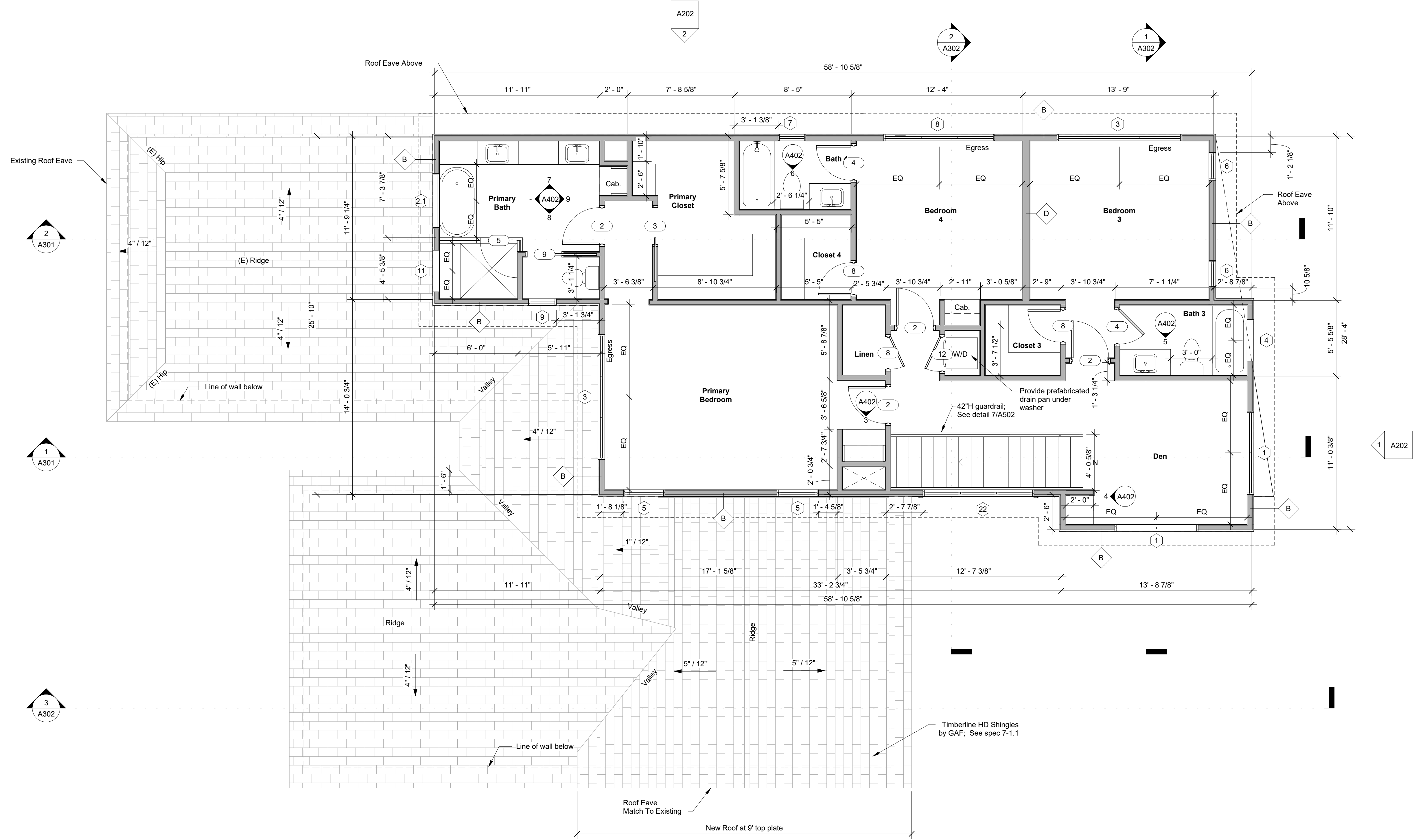
Drawn By:
HA
Drawing Date:
07/27/2024

Revisions:

Revision	Date	Notes

Proposed
Second Floor
Plan

A107



1 Proposed Second Floor Plan
1/4" = 1'-0"

Wall Legend

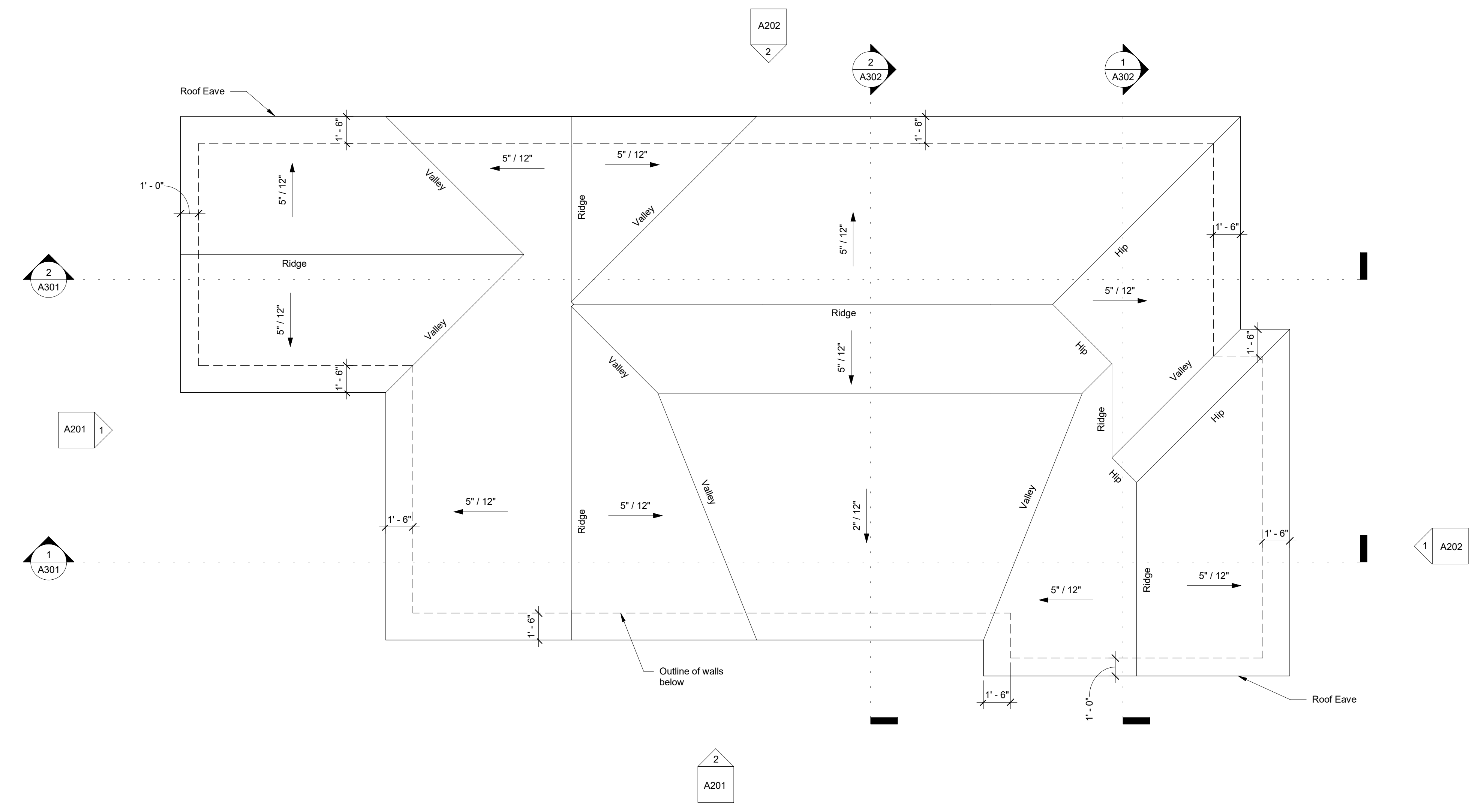
Proposed Stud Wall

Wall Type Schedule

Type	Fire Rating	Sound Rating	Detail	Comments
A	N/A	N/A	1 / A501	Stucco
B	N/A	N/A	2 / A501	Horizontal Siding
C	N/A	N/A	3 / A501	Interior
D	N/A	N/A	4/A501	Interior Staggered Wall

General Notes

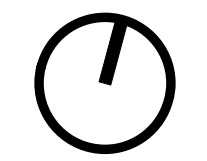
- All dimensions are to face of stud, concrete, or masonry, unless noted otherwise. Do not scale drawings.
- Refer to drawing G101 for typical symbols and abbreviations.
- Refer to drawings G104 through G106 for specifications.
- Contractor to coordinate wall types. Where required to align wall finishes, provide additional layer of gypsum board as required.
- Provide shelving in all closets per architect's direction.
- All interior walls to be type 'C', unless noted otherwise.
- Penetrations of fire-resistive walls, floor/ceilings, and roof/ceilings shall be protected as required by CBC section 714.



1 Roof Plan
1/4" = 1'-0"

General Notes

1. Roofs shall be non-vented per detail 13/A501
2. Roof ventilation openings shall be covered with corrosion resistant metal mesh with 1/8" min. to 1/4" max. openings.
3. Locate all plumbing vents so that none are visible from the street

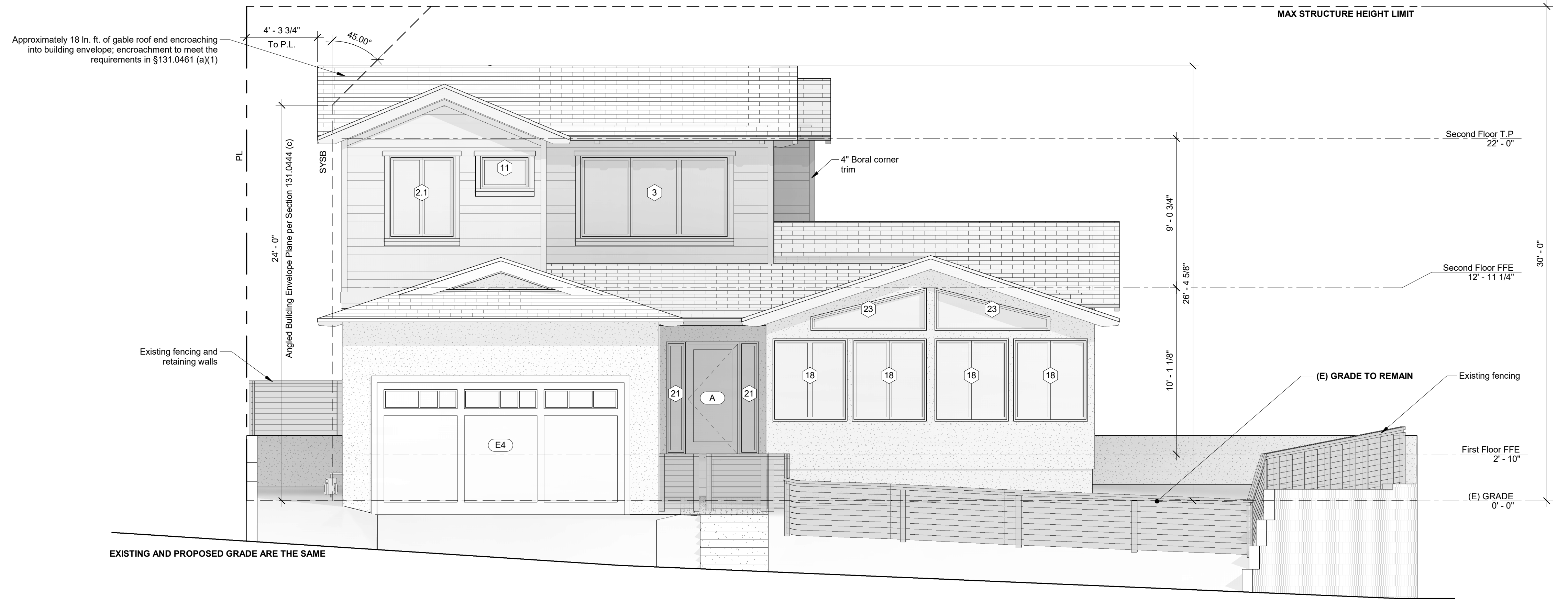


Drawn By:
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Drawing Date:
07/27/2024

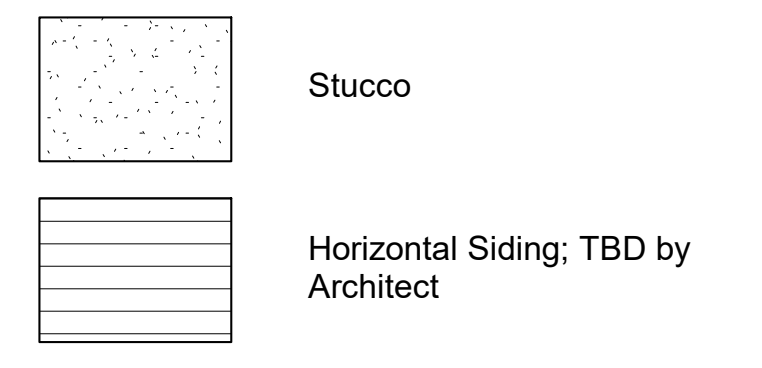
Revisions:

Revision	Date	Notes

Roof Plan



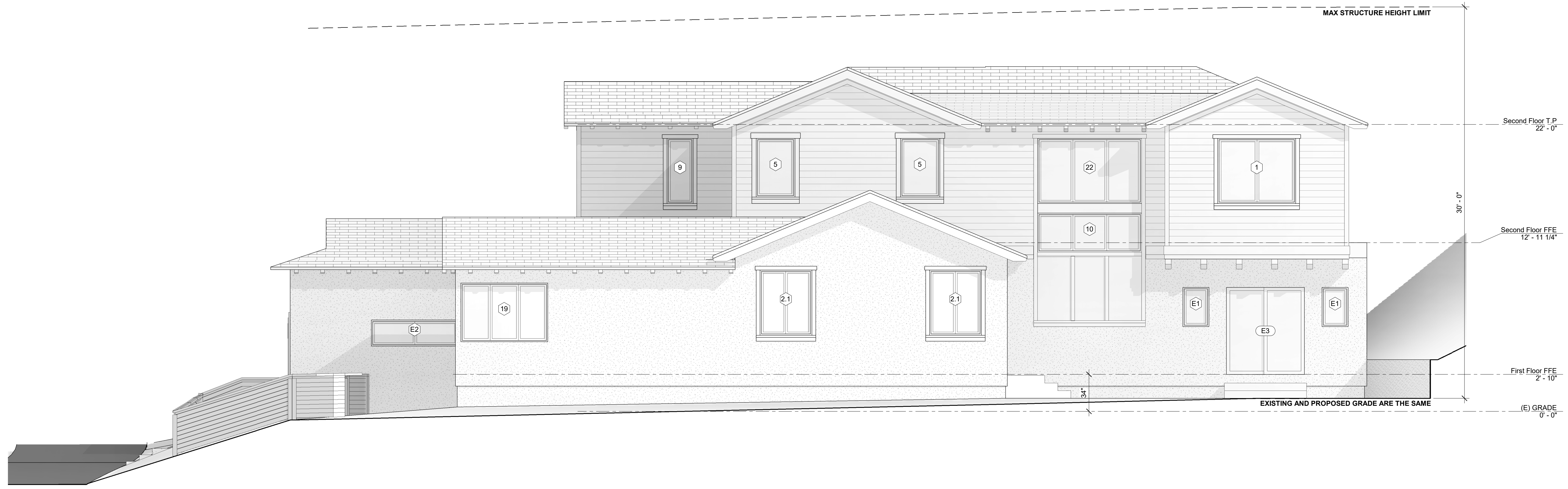
Material Legend



1 West Elevation (Front)
1/4" = 1'-0"

General Elevation Notes

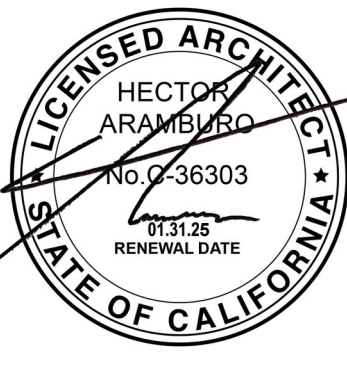
1. See sheet SC1 for window and door schedules.
2. See details 2-4/A502 for typical exterior window head, sill, and jamb details and 1/A502 for typical window installation details.
3. At front covered patios, provide MIN 2% positive drainage away from all portions of the structure.
4. See plot plan for information pertaining to wood gates and fences.
5. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast in color to background. Numbers shall be a min. of 4" high with a min. stroke width of 1/2" per CFC Section 505.1.



2 South Elevation (Side)
1/4" = 1'-0"

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Drawing Date:
07/27/2024

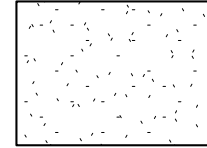
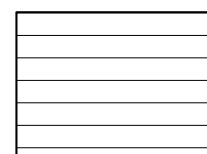
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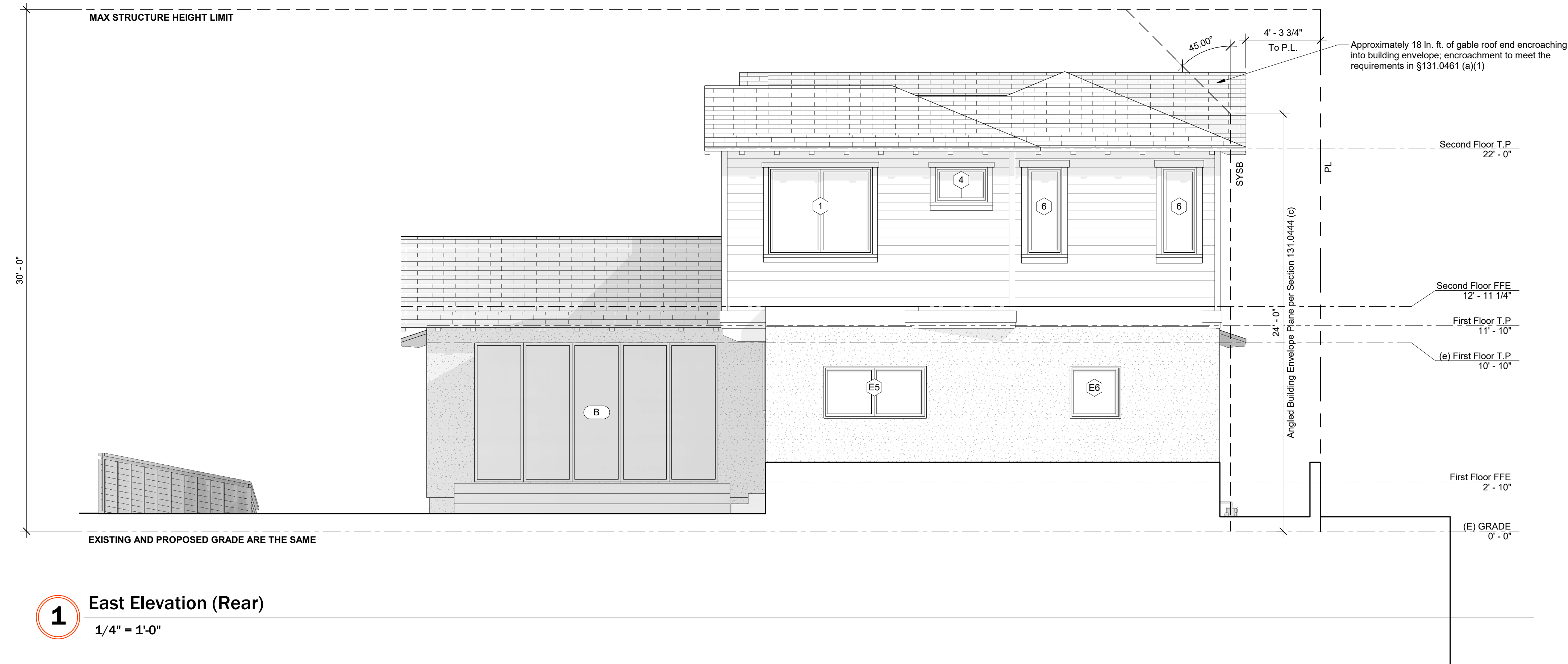
Revision	Date	Notes

Exterior Elevations

A201

Material Legend

-  Stucco
-  Horizontal Siding; TBD by Architect



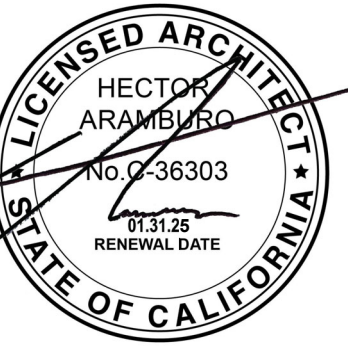
1 East Elevation (Rear)
1/4" = 1'-0"



2 North Elevation (Side)
1/4" = 1'-0"

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Drawn By:
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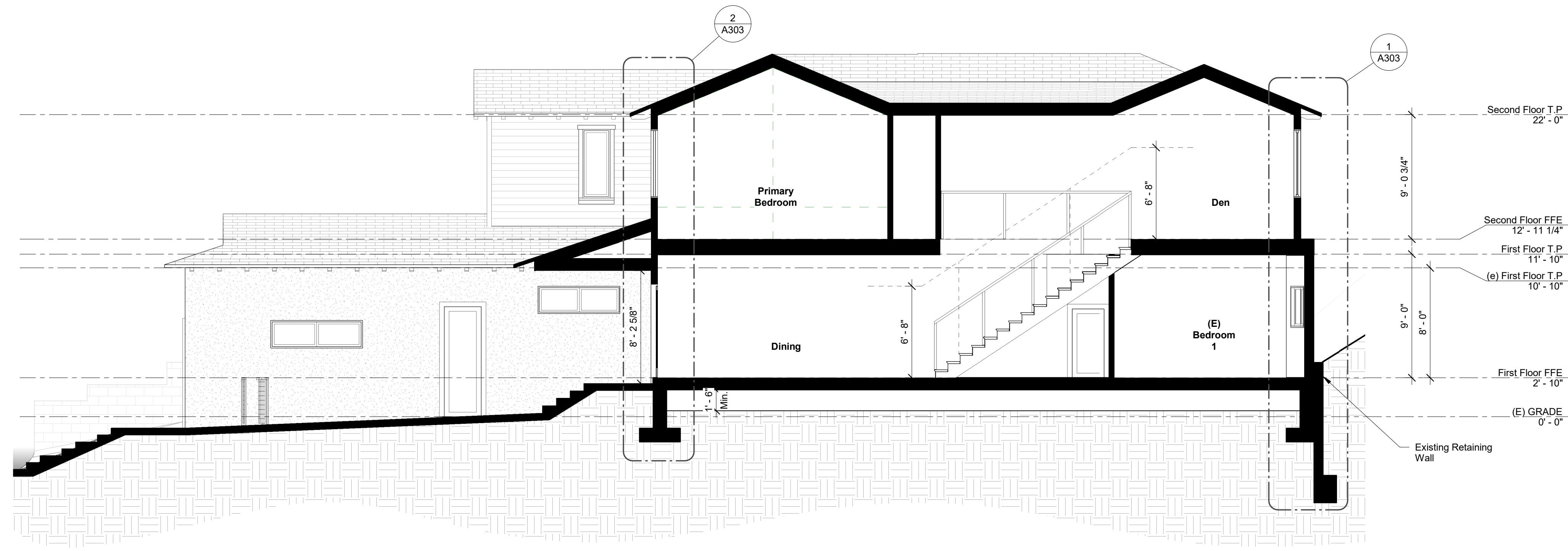
Drawing Date:
07/27/2024

Revisions:

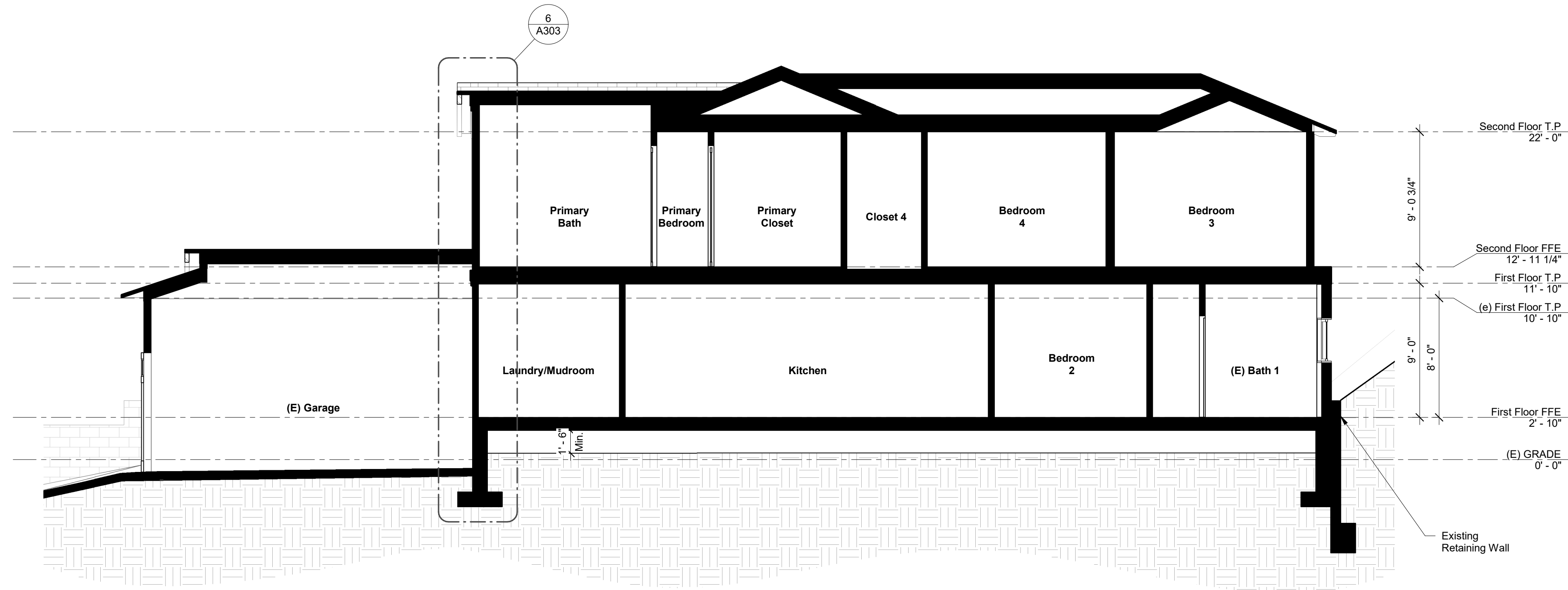
Revision	Date	Notes

Exterior Elevations

A202



1 Building Section
3/16" = 1'-0"



2 Building Section
3/16" = 1'-0"

General Notes

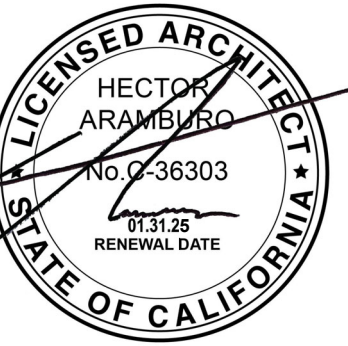
- Reference Points:
Vertical dimensions are to the top of joints and reveals, U.O.N
- Metal Finishes:
All exterior steel and miscellaneous metals shall be hot dip Galvanized and painted, U.O.N
- Insulation:
Provide the following R-values per T24 at exterior walls and roof construction surrounding conditioned spaces in the building envelope U.O.N.,
Roofs: R-30
Walls: R-13,
Floor: R- 19

See ME3 - ME6 for more information.
- Weather-Tightness:
All exterior joints and openings in the building envelope that are observable sources of air leakage shall be caulked, casketed, weather-stripped, or otherwise sealed.

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Drawn By:
HA

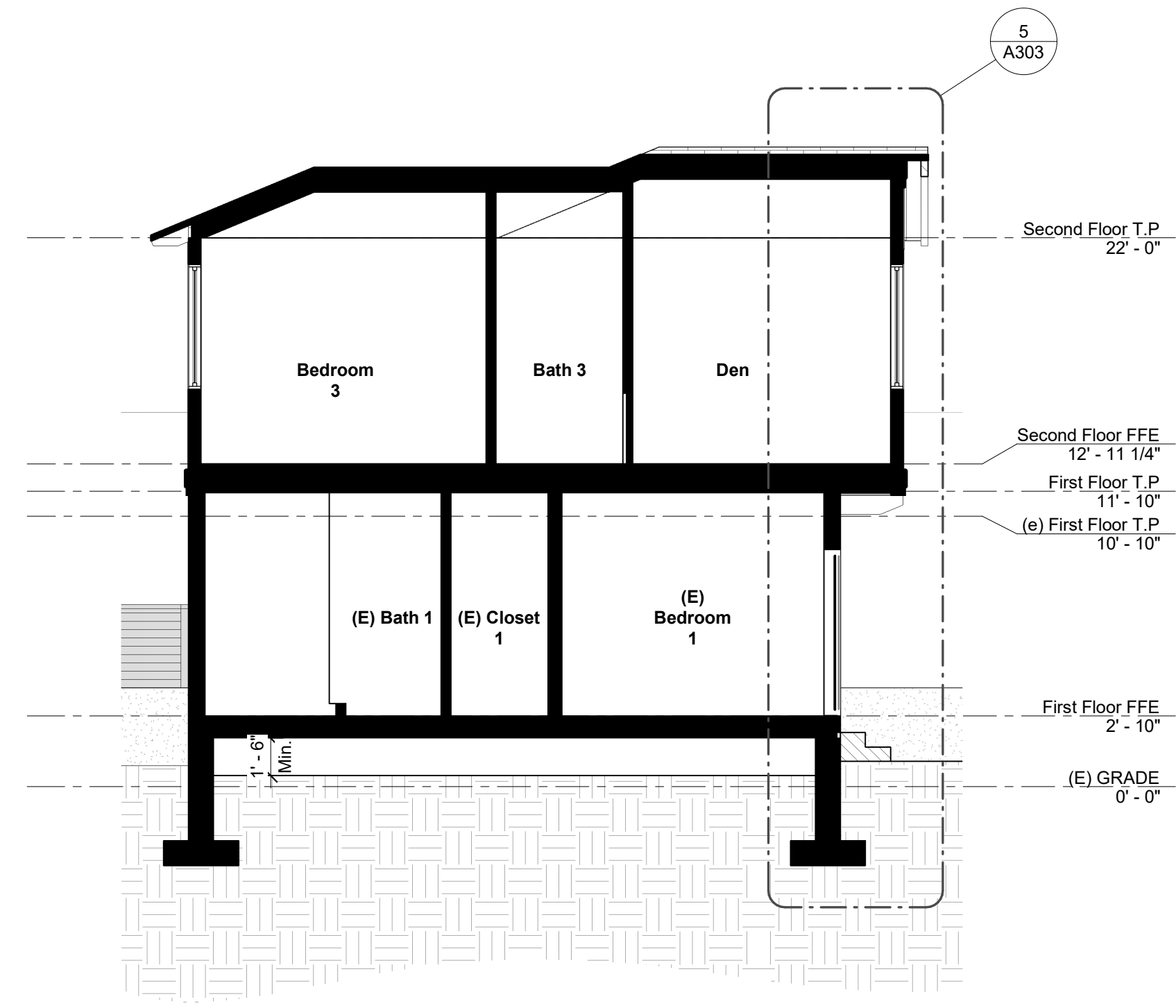
Drawing Date:
07/27/2024

Revisions:

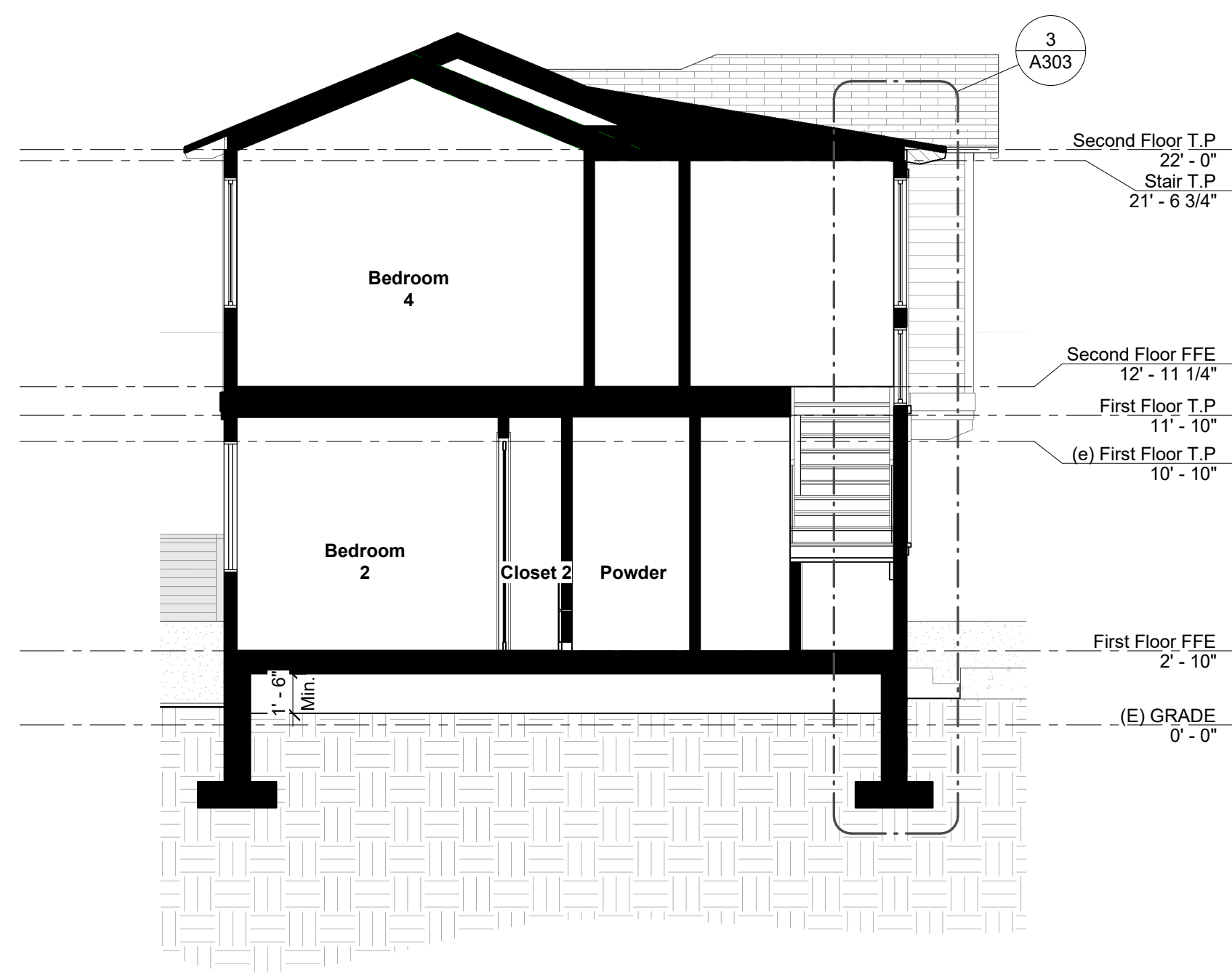
Revision	Date	Notes

Building Sections

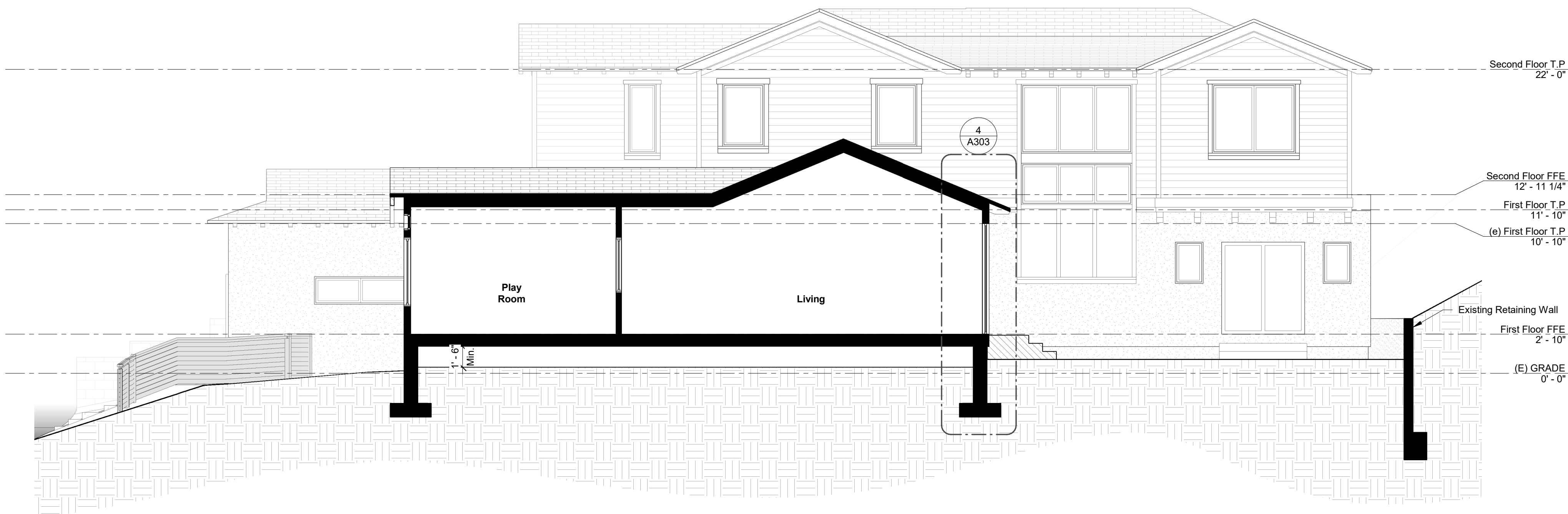
A301



1 Building Section
3/16" = 1'-0"



2 Building Section
3/16" = 1'-0"



3 Building Section
3/16" = 1'-0"

General Notes

- Reference Points:
Vertical dimensions are to the top of joints and reveals, U.O.N
- Metal Finishes:
All exterior steel and miscellaneous metals shall be hot dip Galvanized and painted, U.O.N
- Insulation:
Provide the following R-values per T24 at exterior walls and roof construction surrounding conditioned spaces in the building envelope U.O.N.,
Roofs: R-30
Walls: R-13,
Floor: R- 19

See ME3 - ME6 for more information.
- Weather-Tightness:
All exterior joints and openings in the building envelope that are observable sources of air leakage shall be caulked, casketed, weather-stripped, or otherwise sealed.

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Drawn By:
HA

Drawing Date:
07/27/2024

Revisions:

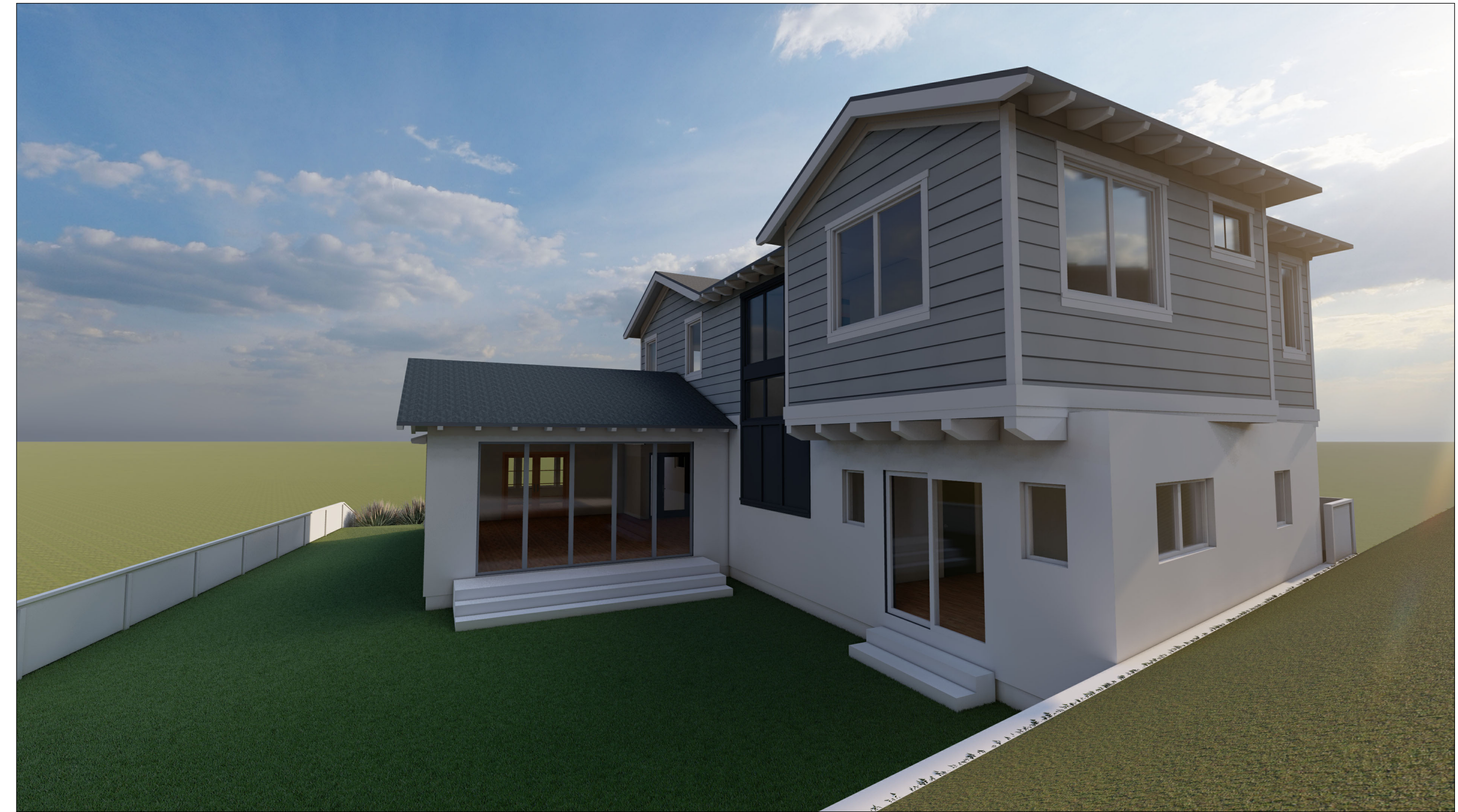
Revision	Date	Notes

Building Sections

A302



Front Perspective View



Rear Perspective View



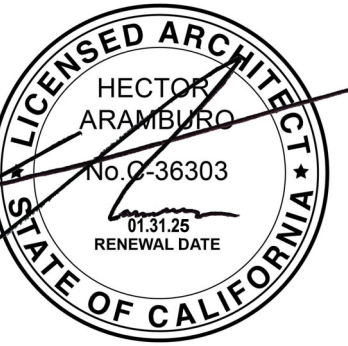
North Perspective View



South Perspective View

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Drawn By:
HA

Drawing Date:
07/27/2024

Revisions:

Revision	Date	Notes

Renderings

A901

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Coastal Commission Response Sheet

PRJ-1124882

971 Amiford Drive

DSD: Engineering Review

Plan Reviewer: Karen Vera

00001: Noted, informational.

00002: Noted, please see included responses.

00003: Noted, City of San Diego Storm Water Standards will be adhered to; please see sheet A101 for included Stormwater Notes

00004: Noted, informational.

00005: Please see included forms I-4 and I-5 for Source Control BMP's applied; a BMP plan will be included in the submittal for the building permit.

00006: Noted, informational.

00007: Please see sheet A101 for added note; BMP plan will be included in the submittal for the building permit.

00008: Please see sheet A101 for added note; BMP plan will be included in the submittal for the building permit; No grading permit will be required for this project due to limited amount of earth disturbance.

00009: Noted, WPCP forms will be removed from this submittal.

00010: Please see sheet A101; Data Table shows Earthwork Quantities (cut/fill), New/Replaced Impervious Area, and Total Disturbance Area; Site drainage/slope arrows have been added; downspout locations have been shown; Topography contours and slope markers have been added.

00011: Please see sheet A101 for added area basin and curb core location, Keynote #15 and #16 has been updated.

00012: Please see sheet A101 for added note; BMP plan will be included in the submittal for the building permit.

00013: Please see sheet A101 for added note.

00014: Please see sheet A101 for added Keynotes with City of San Diego Standard Drawing details referenced.

00015: Please see sheet A101 for Curb to P.L. and Curb to Street Center line dimensions; All property line dimensions are shown.

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00016: Noted, informational.

00017: Please see sheet A101 for added Keynote.

00018: Please see sheet A101 for added Keynote #18 with detail references and driveway dimensions.

00019: Please see sheet A101 for added note; fence has been revised to not occur in the visibility triangle; visibility triangles with dimensions have been added to sheet A101.

00020: Please see sheet A101, fence location has been revised out of R.O.W.

00021: Encroachment Maintenance & Removal Agreement (EMRA) has not yet been recorded; noted that project will be conditioned for an EMRA for non-standard improvements and landscape in the public ROW as a condition of permit approval.

00022: Noted, informational.

00023: Noted, all responses have been included.

00024: Noted, informational.

Fire Plan Review

Plan Reviewer: Jordan Buller

00025: Noted, informational.

00026: Please see sheet A102 and A103 for Brush Management Plan and notes.

DSD: Planning Review

Plan Reviewer: Linda Figueroa

00027: Noted, informational, all Overlay zones shown on sheet G101.

00028: Noted, informational, CDP plan submitted.

00029: CDP is due to Section 126.0708(a)(4); all the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.; due to real world proximity of 971 Amiford Dr., this is an impossible scenario to actually occur.

00030: Noted, informational.

00031: Correct, the property will remain as single family dwelling; project is addition only to the existing residence.

00032: Due to the sloping nature of the respective lots on Amiford Dr., 2-story residences are practical and compatible with the surrounding scale, although the majority of this proposed addition is occurring at the proposed second story, the front facades with proximity to the street will remain single story and

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fit in with the neighboring properties that are single story. There are no properties behind or adjacent to 971 Amiford Dr. that will result in any obstructed views due to the proposed addition.

00033: Noted, informational (vertical and horizontal offset design elements incorporated).

00034: Noted, informational (project is not located within view corridor).

00035: Noted, informational (in conformance with historic requirements).

00036: Please see sheet A101, FYSB has been revised to 12'-0".

00037: Please see sheet A101 for lot depth and lot width; SYSB's have been revised.

00038: Please see sheet A101 for dimension on new generator.

00039: Please see sheet A101; Keynote #4 has been updated.

00040: Please see attached PDF from DSD Approval # 2418964 for combination building permit; Project ID 663036 (/OpenDSD/Web/Projects/Details/663036) issued 8/10/2020.

00041: Please see added building envelope plane to drawings 1/201 and 1/202 and callouts; portion of roof encroaching to meet the requirements of §131.0461

00042: Please see sheet A101 for added datum reference and datum points.

00043: Please see sheets A201 and A202 for added existing grade callout and max structure height plane.

00044: Noted, informational.

00045: Noted, Peninsula Planning Community Group has been contacted.

00046: Please see included form DS-503.

DSD: Historic

Plan Reviewer: Alvin Lin

00047: Please see attached photographic survey for historic analysis.

00048: Please see attached description per Bulletin 580 for historic analysis.

00049: Notice of completion cannot be located at this time.

00050: Please see attached Historic Resource Information

LDR: Environmental

Plan Reviewer: Rhonda Benally

00052: Noted, CEQA pending due to more information.

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00055: Note, Tribal Community Notification due to potential ground disturbance; ground disturbance will be minimal on this project.

00056: Noted, for potential archaeological analysis.

00057: Please see sheet A101 Data Table for Earthwork Quantities information re grading/excavation/; site work will be minimal for this project.

00058: Please see attached supplemental photographic survey.

00059: Noted, Climate Action Plan requirements will be met where required.

00060: Noted, project redesign or change in project scope is not anticipated.

DSD: Coastal Commission

Plan Reviewer: Hector Rios

00063: Noted, informational.

00064: Noted, contact for design review with committee for presentation has been made; pending due to documents to be received.

DECLARATION OF RESTRICTIONS

MINOS MAR VISTA

This Declaration of Restrictions made this 30th day of April, 1954 by L. B. Butterfield and Edna L. Butterfield.

WHEREAS, L. B. Butterfield and Edna L. Butterfield, Husband and Wife, herein referred to as "Owner", are the owners of that certain real property situated in the City of San Diego, County of San Diego, State of California, more particularly described as follows, to wit:

Lots 1 to 11 both inclusive of Minos Mar Vista, according to Map thereof No. 3077, filed in the office of the County Recorder of San Diego County, April 30, 1954, at 1:06 P.M.

WHEREAS, the said Owner is about to sell, dispose of, or convey the real property first hereinabove described, which they desire to subject to certain protective conditions and restrictions,

NOW, THEREFORE, this Declaration of Restrictions,

W I T N E S S E T H:

(1) That for the purpose of designating and creating certain conditions and restrictions upon all of said above described property, for the direct benefit of said property, the following terms, conditions, covenants and restrictions shall apply to the land as well before the execution and delivery to any buyer thereof of a deed conveying said realty to said buyer, as after said deed shall have been executed and delivered, and shall operate as covenants running with the land, being hereby created as mutual equitable servitudes in favor of each and every lot, except as otherwise expressly limited and provided herein.

(2) It is understood and agreed that every conveyance of said property is, and shall be subject to such of the following express conditions, provisions, restrictions, covenants, and reservations (hereinafter referred to as "conditions"), as may, by their terms, be applicable thereto, which conditions shall apply to and bind the parties thereto, their and each of their heirs, devisees, legatees, executors, administrators, successors and assigns, and which conditions are imposed pursuant to a general plan for the benefit of all of the above described property, and is designed for the mutual benefit of the Owner, as well as the present owner or owners of any lot or lots of any interest therein.

(3) Said conditions are imposed upon said realty as an obligation or charge against the same for the benefit of each and every lot and the owner or owners thereof, and with the right of enforcement of said conditions, and each of them, vested in the owner or owners of any one or more of said lots.

(4) Said conditions are to be as follows, to wit:

First: No lot shall be used in whole or in part for any other than single family residential purposes.

Second: Only one single family residence together with customary out-buildings including private garage shall ever be erected or maintained on any lot, provided, however, a guest house may be built upon said lot to be occupied only by members of the immediate family of the owner, his friends or licensees, but shall not be leased or rented.

Third: All buildings and structures shall be constructed entirely of new materials and no buildings or structures erected elsewhere shall be moved onto or placed or maintained on any lot, unless approved by the Architectural Committee hereinafter provided for.

Fourth: No excavation for stone, gravel or earth shall be made or permitted on any lot unless said material shall be used upon said lot, provided however, that stone, earth or gravel excavated in connection with the erection of any building or in connection with the improvements of said lot may be removed therefrom. No lot or part thereof shall be used for the purpose of drilling thereon for oil, gas or any other mineral substance.

Fifth: No building, fence, wall, railing or other structure shall be erected (or altered as to its exterior) on any lot until the complete plans and specifications for such building, fence, wall, railing or other structure and the location thereof have been approved in writing by the Architectural Committee hereinafter, provided for, and copy of such approved plans and specifications have been filed with the Committee. Plans and specifications submitted shall include the following:

- A. Complete plans and specifications sufficient to secure a building permit in the City of San Diego, including a plot plan showing lot and block and placing of residences, garage, outbuildings and walls or fences.
- B. Front elevation and both side elevations, or front elevation and one side elevation and rear elevation of buildings. Side elevation of walls and fences.
- C. A perspective drawing if deemed necessary by the Committee to interpret adequately the exterior design.
- D. Data as to materials, color and texture of all exteriors including roof coverings, fences and walls.

Should the Committee fail to approve or disapprove such plans and specifications and location within thirty days after submission of the plans to them, then such approval will not be required, but all other conditions and restrictions herein contained shall remain in force.

Sixth: All buildings, fences, walls, railings, and other structures if of wood construction shall be painted or stained

with at least two coats of paint or stain upon completion unless otherwise approved by the Architectural Committee; if of stucco or cement construction, the exterior shall be treated with a color coat or adequately painted upon completion.

Seventh: No buildings shall be built on any lot in this subdivision unless all sinks which are used in the preparation of food are equipped with garbage disposal units.

Eighth: No tent, shack, trailer, basement or garage shall be used for residential purposes on any lot at any time and no residence of a temporary character shall be permitted.

Ninth: No turkeys, geese, chickens, ducks, rabbits or animals usually termed as "farm animals" shall be kept or allowed to be kept on any said lot.

Tenth: The work of constructing and erecting any buildings and structures shall be prosecuted diligently and continuously from the commencement thereof until the same is completed in accordance with the requirements herein set forth. No building shall in any manner be occupied or dwelt in while in the course of construction or at any time prior to the completion of such building.

Eleventh: The front and rear setback requirements approved by the City of San Diego shall be observed on all lots. However, in any event, no building shall be erected or maintained on any lot nearer than 5 feet from any common property line, except that along the rear one-third of any such line buildings may be erected to within 3 feet of such line. Where the physical characteristics or shape of any lot are such as, in the opinion of the Architectural Committee, to require modification of these side line requirements, then the Committee shall have the right to modify said side line requirements.

Twelfth: All buildings erected on any lot shall be of one story in height unless the Architectural Committee determines that the construction of a two-story building will not obstruct or impair the view from another lot or lots.

Thirteenth: The ground floor square foot area (exclusive of porches, patios and garage) of any dwelling erected on any lot shall be not less than 1200 square feet, provided, however, the Architectural Committee shall have the right to reduce the minimum ground floor square footage to not less than 1000 square feet.

Fourteenth: No hedge, fence, wall, railing, or other structure over 36 inches in height shall be permitted in front of any setback line unless approved by the Architectural Committee and same shall be placed at least 2 feet back of the front property line to permit proper landscaping between the property line and said hedge, fence, wall, railing or other structure.

Fifteenth: Each lot shall be so improved as to provide for a service yard of not less than 200 square feet in area. This service yard shall be located on the rear one-half of the lot and provision shall be made solely within for rubbish disposal, incinerator, clothes lines, and other facilities customarily used in the maintenance of residential real property. Said service yard shall be enclosed with a hedge, fence, wall or other structure as approved by the Architectural Committee.

Sixteenth: Purchaser will clear weeds, rubbish or debris from his lot and maintain said lot free and clear of any such weeds, rubbish or other debris to reduce all possible fire hazards and so as not to damage the value of the adjoining lot or lots.

Seventeenth: An Architectural Committee is hereby created. This Committee shall be composed of two members whose appointment shall cease when the above described lots are completely improved. This improvement includes fences, railings, walls, residences, garages and all other as provided for in this instrument. The members of this Committee shall be Tony Amantea and Duane C Stafford, whose addresses are 4246 Santa Cruz, San Diego and 645 San Antonio, San Diego, their heirs, devisees, or personal representatives are to fill any vacancies. Said "Owner" also will appoint members to fill any vacancies in the Committee and may remove members thereof at its discretion. Powers of said Committee shall be to pass upon, approve or reject any plans or specifications for structures to be erected on lots in said Minos Mar Vista, so that all structures shall conform to the restrictions and to the general plans of the Committee, for the improvement and development of the whole tract. Other functions of the Committee shall be as outlined herein. The Committee may act by two of its members, and any authorization, approval or waiver made by the Committee must be in writing signed by its members. Nothing in this paragraph shall be construed as authorizing or empowering the Committee to change or waive any restriction set forth above except as hereinbefore specifically provide.

Nothing in this paragraph shall be construed as authorizing or empowering the Committee to change or waive any restriction set forth above except as hereinbefore specifically provide.

Eighteenth: Any building erected on any of said lots which building has been completed shall be deemed to comply with each and all of the restrictions contained herein, and no action shall be brought to enforce said restrictions by means of any violation occurring in the erection of said building after the same has been completed, anything contained herein to the contrary notwithstanding.

Nineteenth: The Owner, or the Architectural Committee or, where such owner refuses to act and there is no Architectural Committee, any committee appointed by the owners of a majority of said lots, may, at any time they deem a breach of these conditions and restrictions has occurred, execute, acknowledge and record in the Recorder's Office of San Diego County, a Notice of Claim of Breach setting forth the facts of such breach, describing the lot upon which such breach has occurred and setting forth the name of the owner thereof. Such notice, upon recording, shall be notice to all persons of such breach, provided an appropriate

legal action has been commenced within sixty days from the recording of such notice to establish such breach, and if no such action as been commenced within such sixty-day period, then and in that event such notice shall be of no force and effect whatsoever and the breach set forth in said notice shall be conclusively presumed to have been remedied.

Twentieth: The owner of any encumbrance made for value on any said lot and any corporation insuring the lien of any such encumbrance may conclusively presume that no breach exists Under these conditions and restrictions, provided such encumbrance is recorded in the Recorder's Office of the County of San Diego prior to the commencement of any appropriate legal action to establish any such breach and not less than sixty days after the recording of any Notice of Claim of Breach, any thing to the contrary herein notwithstanding.

Twenty-first: The Owner, or the Architectural Committee, or any committee appointed by the owners of a majority of said lots, or any members or members of said committee, may at any reasonable time enter, inspect and report upon any lot as to its maintenance, alterations, or improvements in compliance with the provisions of these conditions and restrictions; and the Owner or said committees or any member thereof shall not thereby be deemed guilty of any manner of trespass for such entry or inspection. Said owner or either of said committees may issue a Certificate of Completion and Compliance as to any lot showing compliance with any part or all of these conditions and restrictions, and any such certificate duly acknowledged and recorded in the Recorder's Office of San Diego County shall be conclusive evidence of the matters recited therein, and any purchaser and encumbrancer for value and the insurer of the lien of any encumbrances may conclusively presume that all statements contained in any such certificate are true, and such certificate shall be binding and conclusive upon any and every person having any rights under these conditions and restrictions.

Twenty-second: In the event any conditions, reservations, or restrictions herein contained be invalid or held invalid or void by any court of competent jurisdiction, such invalidity or voidness shall in no way affect any other conditions, reservation or restriction herein contained.

Twenty-third: No waiver of a breach of any of the foregoing conditions, reservations, or restrictions shall be construed as a waiver of any succeeding breach of the same or any other condition, reservation of restrictions.

IT IS UNDERSTOOD AND AGREED that as to said lots owned by the "Owner" herein said conditions and restrictions shall operate as covenants running with the land and that a breach thereof shall cause the lot upon which said breach occurs to revert to the Owner, their successors and assigns, each of whom, respectively, shall have the right of re-entry immediate--

ly upon said premises in the event of any such breach; and as to any other owner of all of said lots 1 to 40 inclusive, including any bona fide purchaser under contract, the foregoing conditions and restrictions shall operate as covenants running with the land and a breach of any of said conditions and restrictions or the continuance of any such breach may be enjoined, abated or remedied by appropriate proceedings by said Owner, their successors or assigns, or by any such other owners, their heirs, devisees, executors, administrators, successors or assigns.

PROVIDED that a breach of the foregoing conditions and restrictions or a re-entry by reason of any such breach, shall not defeat or render invalid the lien of any mortgage, or deed of trust made for value; but such conditions and restrictions shall be binding upon and effective against any owner whose title is acquired by foreclosure, trustee's sale or otherwise.

PROVIDED ALSO that the rights of the Owner in and to any lot arising by reason of a reversion of the title to said lot occurring under a breach of these conditions and restrictions, shall not be exercised until, and no action shall be brought to enforce or establish such reversion unless a notice of such breach, setting forth the facts of the breach, has been given to the owner of said lot, and such breach has not been remedied within thirty days after the giving of said notice.



From: City of San Diego, Development Services Department (DSD),
Project Submittal & Management Division

Project Number: [PRJ-1124882](#) – 971 Amiford Drive

Review Due Date: April 29, 2025

Document Link(s):

<https://drive.google.com/drive/folders/1GXBx2qdY9UEbTxoJdg38lBsA-i8eNqZY?usp=sharing>

You have been designated as the department/agency contact to receive copies of discretionary development project applications submitted to DSD for review. Please follow the instructions below to ensure your comments are received and considered.

Instructions for all Outside Agencies, Planning Groups and City Departments:

- Access the project submittal documents using the links above. Download and save the documents so you can access them after the links are updated or expire.
- Access OpenDSD at <https://opensd.sandiego.gov/web/approvals/> and input the Project Number to view review status and applicant or DSD contact information.
- To change the designated contact for your department/agency, please email the request to DSDOfflineReviews@sandiego.gov.

Agencies and Reviewers Outside the City or

City Departments without Project Tracking System (PTS) Access:

- Email your comments for this project submittal to BHafertepe@sandiego.gov prior to the review due date listed above. Be sure to include the Project Number in the email subject line.
- Indicate in your comments if you would like to receive future submittals of this project. No further project submittals will be provided unless specifically requested.

City Departments with Project Tracking System (PTS) Access:

- Complete your review in PTS prior to the due date listed above. Indicate in PTS if an additional review is required and if any documents required for your next review.

Community Planning Groups:

- Review the project and provide a recommendation as outlined in [Information Bulletin No. 620](#), by completing/submitting a recommendation via the CPG Form, which is provided on page 3 of IB620.

**Source Control BMP Checklist
for Standard Projects**

Form I-4A

All development projects must implement source control BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist.
Note: All selected BMPs must be shown on the construction plans.

Source Control Requirement	Applied ⁽¹⁾ ?		
4.2.1 Prevention of Illicit Discharges into the MS4	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.2.2 Storm Drain Stenciling or Signage	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4.2.3 Protect Outdoor Materials Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4.2.4 Protect Materials Stored in Outdoor Work Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4.2.5 Protect Trash Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4.2.6 BMPs based on Potential Sources of Runoff Pollutants			
On-site storm drain inlets	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Interior floor drains and elevator shaft sump pumps	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Interior parking garages	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Need for future indoor & structural pest control	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Landscape/Outdoor Pesticide Use	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Pools, spas, ponds, decorative fountains, and other water features	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Food service	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Refuse areas	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Industrial processes	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Outdoor storage of equipment or materials	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Vehicle/Equipment Repair and Maintenance	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Fuel Dispensing Areas	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Loading Docks	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Fire Sprinkler Test Water	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Miscellaneous Drain or Wash Water	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Plazas, sidewalks, and parking lots	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
SC-6A: Large Trash Generating Facilities	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
SC-6B: Animal Facilities	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
SC-6C: Plant Nurseries and Garden Centers	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
SC-6D: Automotive Facilities	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A

Discussion / justification for **all** "No" answers shown above:

Project is a residential project; N/A BMP does not apply



Site Design BMP Checklist for Standard Projects	Form I-5A
--	------------------

All development projects must implement site design BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist.
Note: All selected BMPs must be shown on the construction plans.

Site Design Requirement	Applied ⁽¹⁾ ?		
4.3.1 Maintain Natural Drainage Pathways and Hydrologic Features	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.2 Conserve Natural Areas, Soils, and Vegetation	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.3 Minimize Impervious Area	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.4 Minimize Soil Compaction	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.5 Impervious Area Dispersion	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.6 Runoff Collection	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.7 Landscaping with Native or Drought Tolerant Species	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.8 Harvest and Use Precipitation	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A

Discussion / justification for **all** "No" answers shown above:
 Precipitation will be collected by rain gutters and dispersed into the adjacent landscape/permeable areas

⁽¹⁾ Answer for each source control and site design category shall be pursuant to the following:

- "Yes" means the project will implement the BMP as described in Chapter 4 and/or Appendix E of the BMP Design Manual. Discussion / justification is not required.
- "No" means the BMP is applicable to the project but it is not feasible to implement. Discussion / justification must be provided.
- "N/A" means the BMP is not applicable at the project site because the project does not include the feature that is addressed by the BMP (e.g., the project has no outdoor materials storage areas). Discussion / justification may be provided.





City of San Diego
Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

THE CITY OF SAN DIEGO

No FAA Notification Self-Certification Agreement

**FORM
 DS-503**
 MAY 2013

This agreement is made by and between the City of San Diego, a Municipal Corporation [City] and the owner or owner's duly authorized representative of real property [Property Owner], located at

(PROPERTY ADDRESS)

and more particularly described as

(LEGAL DESCRIPTION)

(PROJECT APPROVAL No.s.)

in the City of San Diego, County of San Diego, State of California [Property].

Per Section 77.15 of Title 14 of the Code of Federal Regulations ([CFR Part 77](#)), no person is required to notify the Federal Aviation Administration (FAA) for any object that would be shielded by existing structures of a permanent and substantial character or by natural terrain or topographic features of equal or greater height, and would be located in the congested area of a city, town, or settlement where it is evident beyond all reasonable doubt that the structure so shielded will not adversely affect safety in air navigation.

The City will not require notification to the FAA if a professional, licensed by the state of California to prepare construction documents provides certification on their plans along with their signature and registration stamp that the structure(s) or modification to existing structure(s) shown on the plans do not require Federal Aviation Administration notification because per Section 77.15 (a) of Title 14 of the Code of Federal Regulations [CFR Part 77](#), notification is not required.

In consideration of the grant of permission by the City of San Diego to allow the self certification of the determination of no requirement to notify FAA under section 77.15 of Title 14 of the Code of Federal Regulations [CFR Part 77](#), the applicant covenants and agrees with the City of San Diego as follows:

1. Should it be subsequently determined by the City, Airport Land Use Commission, State, or the Federal Aviation Administration, or any other government agency that the proposed project is required to notify the Federal Aviation Administration under [CFR Part 77](#), the City assumes no responsibility or liability for any changes required to the submitted construction drawings and documents and to the structures installed on the project site as a result of and to achieve consistency with the FAA's determination of No Hazard to Air Navigation.
2. The applicant certifies that said owner(s) acknowledges and accepts that the construction drawings and documents that are part of the ministerial approval application as well as the construction in the field may have to be revised as necessary to comply with the FAA Determination of Hazard to Air Navigation. The applicant also acknowledges that if a Determination of Presumed Hazard is made by the FAA, that the City will stop all construction until a Determination of No Hazard to Air Navigation is made by the FAA for the project or a permit from the California Department of Transportation is obtained in accordance with Public Utilities Code Section 21659. The applicant acknowledges that this may cost the applicant more money in permitting and construction costs, as well as delays in project construction.
3. Furthermore, the applicant certifies that said owner(s) acknowledges and accepts all responsibility for changes required to the submitted construction drawings and documents and to the structures installed on the project site as a result of and to achieve consistency with the FAA's determination. The applicant acknowledges and accepts that the City assumes no responsibility for said changes and the impacts that result to the development as a result. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents,

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

officers, or employees, including, but not limited to, any to any action to attack, set aside, void, challenge, or annul this development approval or decision.

The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

4. Lastly, the applicant certifies that said owner acknowledges and accepts that additional plan review and inspection fees may be required if additional staff reviews of the revised drawings and documents or additional inspections are necessary to reflect the final design of the development to be consistent with a FAA Determination of Hazard to Air Navigation



(SIGNATURE)

(PRINT NAME & TITLE)

(COMPANY ORGANIZATION NAME)

(DATE)

ADDRESS 971 Amiford Dr.

DESCRIPTION OF BUILDING

CLASS & SHAPE	CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF		LIGHTING		AIR CONDITION		ROOM AND FINISH DETAIL					
				Flat	Pitch	Wiring	Heating	Cooling	ROOMS	FLOORS	FLOOR FINISH	TRIM	INTERIOR FINISH		
D-6, 5+6	Light Sub-Standard	X Frame	X Stucco on	X Gable	2/4 M	X K.T.	Conduit	X Forced	Clean'g	All	X	Hwd	A+	S	Day
ARCHITECTURE	X Standard	Sheathing	Siding "x"	X Hip	2/4 M	B.X.	Cable	Gravity	Humid.	Ent. Hall	Living	1			
1 Stories	Above-Standard	Concrete Block		Shed	4	Fixtures		Wall Unit		Dining					
TYPE	Special	B.B.B. T.&G.		Cut Up		Few	Cheap								
Use	Design	FOUNDATION	Brick	Shingle	Dormers	X Avg.	X Med.	Floor Unit							
X Single	X Concrete	X Floor Joist:	X B.B.B. T.&G.	X Gutters				X Central							
Double	Reinforced	1st. "x"								Bed	3				
Duplex	Brick	2nd. "x"	Brick	X Shingle	Wd.	Poor	Std.	Spec		Bed					
Apartment	Wood	Sub-Floor	Stone	Shake				Oil Burner							
Flat-Court	Piers	Concrete Floor		Tile		Sink									
Motel				D.H. X Casement	Tile Trim	X Laundry		M-B.T.U.							
		Insulated Ceilings	X Metal Sash	Compo.;	X Water Htr.-Auto.	X Fireplace				Kitchen	1	Lino			
1 Units	Light	Heavy	Insulated Walls	X Screens	Compo. Shingle	Water-Softner				Drain Bd.	Material: J.	Lgth:	Ft.	Splash:	

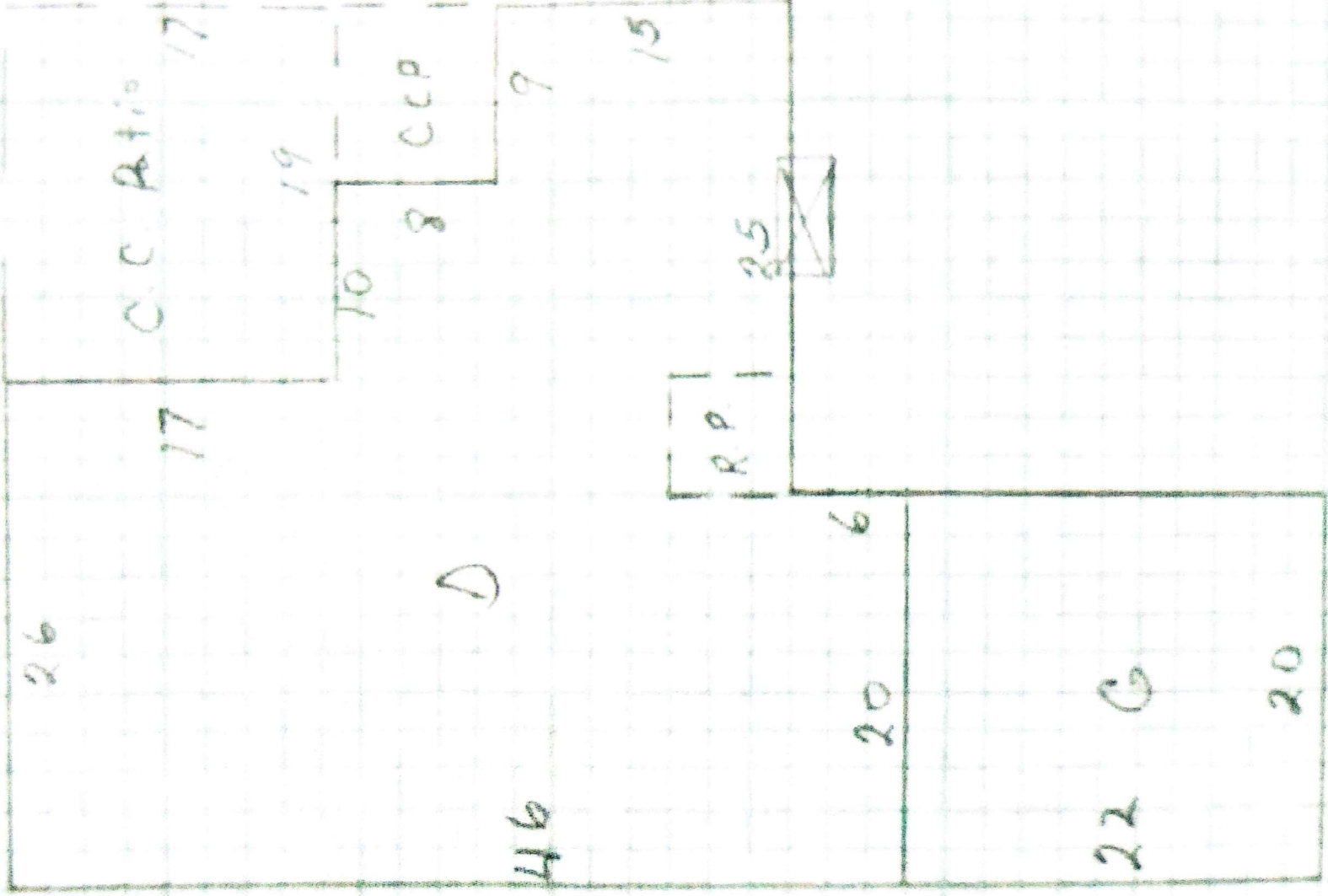
CONSTRUCTION RECORD				RATING (E, G, A, F, P)										BATH DETAIL												
Permit No.	For	Amount	Date	EFFEC. YEAR	APPR. YEAR	Age	Remaining Life	Table	%	Cond.	Arch. Attr.	Func. Plan	Con-form	Storage Cupbd	Space Closet	Work-ship	Fl. No.	FINISH		FIXTURES		SHOWER				
35767	Dd/L	14,700	12-54	1955	1962	3	57	R60	97	A	A	A	A			A	1	1	Lino	Day	1	1	MOD	A+	X	X
				1955	1967	17	48	R60	93	G	A	A	A			A	1	3/4	Lino	Day	1	1	MOD	A+	X	X
					1974					G	G	G	G			G										

SPECIAL FEATURES

Book Cases	Built in Rerrig.	Venetian Blinds
Shutters	" " Oven & Plate	
Vent Fan	" " Dishwasher	

COMPUTATION

Appraiser & Date	Statter 9-14-61	McLanahan 3-31-67	J.P. Re														
Unit	Area	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost
D	1525	9.00	13725	9.70	14030												
Ac			550		550												
G (Type III)	440	2.40	1056	2.60	1144												
CCP	72	2.00	144		144												
F.P.			480		480												
Yard Imps			634		634												
TOTAL			16589		16982												
NORMAL % GOOD			97		93												
R.C.L.M.D			16097		15793												



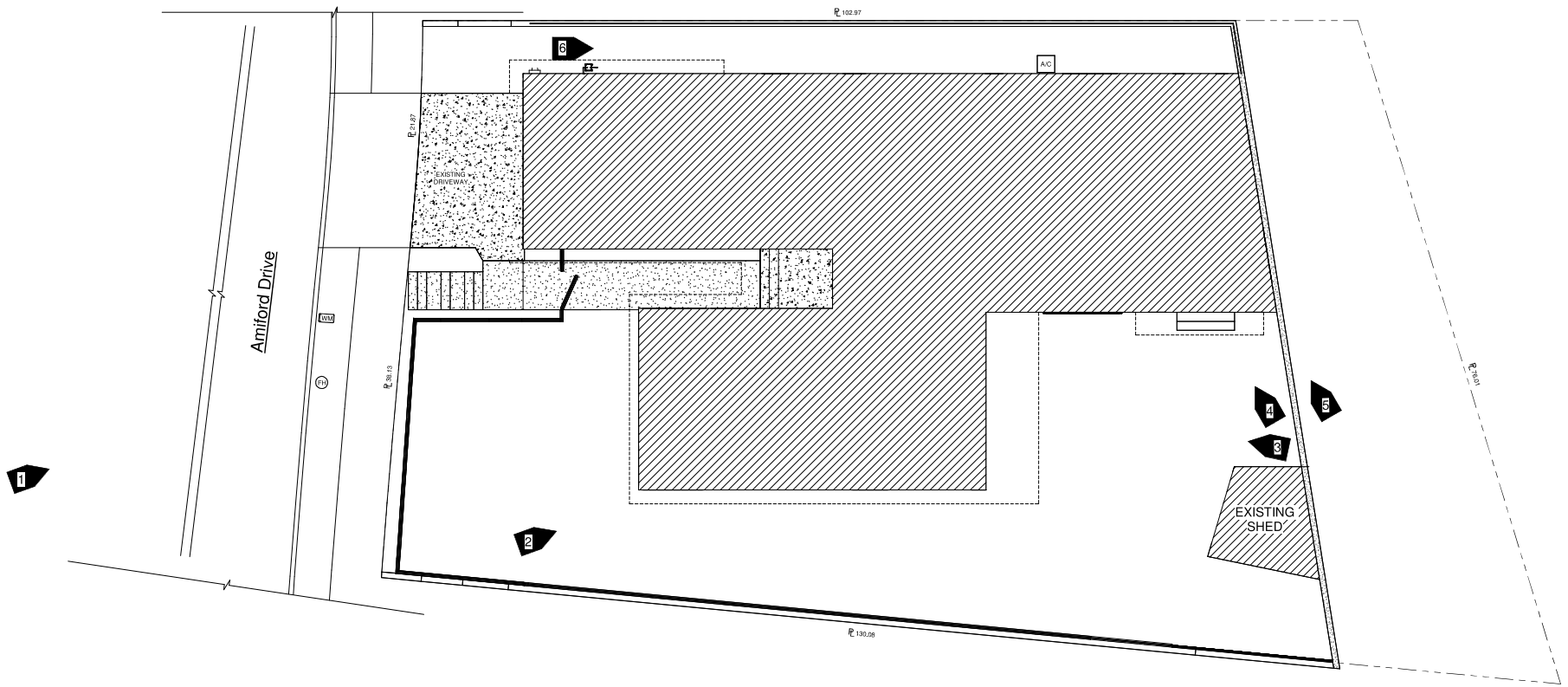


Photo Key



1





2





5





Tim Seaman

VIA EMAIL: TIM@championpermits.com

Subject: 971 Amiford; Assessment Letter; Project No. PRJ-1124882

Dear Tim Seaman:

Your project is processing one or more [discretionary permits](#). As your Development Project Manager, I will coordinate all communications and schedule meetings directly with you. Please notify me if a different Point of Contact should be assigned while I am managing this project.

The Development Services Department has completed the 1st review of the project as described below:

- **Coastal Development Permit (CDP)** is required as it proposes an increase in more than 10% of current square footage and structure height of the existing residence located within the first public roadway. Pursuant to Section 126.0707(b) a decision on an application for a City-issued CDP in the appealable area of the Coastal Overlay Zone requires a CDP in accordance with Process Three, Hearing Officer as the decision maker, appealable to the Planning Commission in accordance with Section 112.0506 and the Coastal Commission per Section 126.0710(a).

At a minimum, a formal recommendation to the Development Services Department will be prepared for your project only after the completion of the following milestones:

- All City staff review comments have been adequately addressed;
- A City Council-recognized Community Planning Group has provided a formal project recommendation;
- An environmental determination has been made and that determination is in its final stages.

SIGNIFICANT PROJECT ISSUES: Carefully review the attached Project Issues Report ([sent via Accela; several issues have been highlighted in the file](#)), which contains review comments from staff representing various City reviewing disciplines, outside agencies, and the community planning group. All issues in the report must be addressed to move forward to a decision; however, I have identified the following significant issues that are critical for your project:

TIMELINE: How Long Will It Take to Process My Discretionary Approval? The Development Services Department processes a wide variety of discretionary approvals as applicants look to change land use entitlements. Approvals include everything from small single-family home additions to master planned communities of several hundred acres. There is no reliable way to forecast exactly how long

an application will take to process as time frames vary dependent upon a large number of unpredictable factors such as project complexity, quality of information received, and demand set by market conditions. However, on average, discretionary approvals require 10-12 months to process. Simple small-scale projects with no environmental or land use issues, positive community support, and a responsive applicant can be processed in as little as 4-6 months; on the other hand, projects with significant environmental impacts, land use issues, neighborhood opposition, and/or a non-responsive applicant or consultant team can take multiple years to complete.

RESUBMITTAL REQUIREMENTS: Incomplete submittals will result in review delays. At this time, additional documents and information are required.

Note: SDMC Section [126.0115](#) requires that a development permit application be closed if the applicant fails to submit or resubmit requested materials, information, fees, or deposits within 90 calendar days of receiving this letter. Closed projects cannot be “reactivated”. Once closed, the applicant shall be required to submit a new development permit application with the required submittal materials and shall be subject to all applicable fees and regulations in effect on the date the new application is deemed complete.

- **COVID-19 Update** - To ensure the health, safety, and well-being of customers and department staff, the Development Services Department has implemented operational service changes that will be in effect until further notice. Please visit our webpage for the latest updates, [Public Notice | Development Services | City of San Diego Official Website](#)
- **Accessing Digital Comments** - At this time, additional documents and information are required to continue the review process. Please visit Accela Citizen Access, log into your account and check both the Project Issues Report and the Submittal Requirements Report for the next time documents identified by each review discipline. If you have questions, please refer to the [DSD Online Permit Application Help Guide](#) for support or contact your Development Project Manager. Please keep track of any review comments that are marked as ‘Conditions,’ as these will become conditions of approval for your discretionary permit.
- **Uploading Resubmittal Documents** – Accela puts resubmittals into review automatically, but only if ALL required resubmittal documents are uploaded as individual files and at the same submittal session. **Incomplete resubmittals do not go into review until everything on the submittal report is uploaded.** It is your responsibility to upload everything that is required. I am not alerted of incomplete submittals, and I am not responsible for project delays caused by improper submittals. Once you have uploaded all your documents, please email me to confirm that you are in review. Failure to do so may result in additional delays.

Please refer to the

- ✓ DSD and Online Permit [Application Help Guide](#).
- ✓ DSD [Training Videos](#) on Rechecks Required and Submitting Plans and Sheet Numbering Resubmitted.
- ✓ For support contact the Development Services Department Help line at 619-446-5000.

- **Applicant Response to Project Issues Report:** Please prepare a cover letter or matrix/spreadsheet that specifically describes how you have addressed each of the comments. Please reference the plan, sheet number, report, or page number as appropriate to assist staff in providing the fastest review possible. If it is not feasible to address a particular issue, please indicate the reason. A response to each comment from the reviewers is necessary for staff to complete their review and greatly reduces the amount of work necessary to evaluate resubmittals as we tackle rising demands and workloads in our department.
- **Draft Findings:** Findings are written statements of factual evidence that are used as the criteria for making a land use decision and is part of the discretionary permit resolution. In order for staff to make a decision or recommend approval of your project to a decision maker, certain findings must be documented. See [SDMC Section 126.0708](#) for the Coastal Development Permit findings. Please provide a draft of the findings in your resubmittal.
- **Community Planning Group:** The proposed project is located within the PENINSULA Community Planning Area. The PENINSULA Community Planning Group (CPG) is the officially recognized community group for the area to provide recommendations to the City.

If you have not already done so, please contact the Chairperson of the CPG via this [link](#) to schedule your project for a presentation before the group at their next available meeting. If you have already obtained a recommendation from the group, please submit a copy of the recommendation and/or minutes from the meeting (including the vote count) to me, copying the CPG chair on your email.

Development Services Department (DSD) Information Bulletin [#620](#), "Coordination of Project Management with Community Planning Committees," provides additional information about the advisory role of the Community Planning Groups. For additional resources please see [Community Planning Group Resources | Planning Department | City of San Diego Official Website](#).

FINANCIAL INFORMATION:

- Environmental Document Filing Fees:
 - A California Environmental Quality Act (CEQA) Notice of Determination/Exemption (NOD/NOE) must be filed with the County of San Diego after the project's approval and after all appeal periods have been exhausted. This filing must be accompanied by a \$50 document handling fee. Provide a check for \$50 made out to "San Diego County Clerk." Please mail to: DSD Attn: Hector Rios, MS-/501, 1222 First Avenue, San Diego CA 92101. Please include your project number: PRJ-XXXXXXX in the memo section of the check.
 - California Department of Fish and Wildlife (CDFW) Filing Fee: The amount of the fee is dependent on the final environmental determination and would be a minimum of \$50 if the project is exempt. Please see the [CDFW](#) webpage for their fee schedule. If these fees are required, I will notify you.

Page 4 of 4
Tim Seaman
February

- Records Fee: Prior to scheduling your project for a decision you must pay the Records Fee to cover the cost of digitizing and archiving your complete project (see Information Bulletin [503](#)).

Meetings with Staff: Upon your review of the attached Project Issues Report, you may wish to schedule a meeting with staff and your consultants prior to resubmitting the project. Please contact me if you wish to schedule a meeting with staff. During the meeting, we will also focus on key milestones that must be met to facilitate the review of your proposal and to project a potential timeline for a hearing date, if needed.

PROJECT ISSUE RESOLUTION CONFERENCE: For more information see this [link](#).

SECOND OPINION GUARANTEE: For more information, see this [link](#).

I look forward to working with you and your team. I may be reached at 619-533-6733 or hrios@sandiego.gov

Sincerely,

Hector Rios

Hector Rios
Development Project Manager

Enclosures:

1. Project Issues Report



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Project Address 971 Amiford Dr
San Diego, CA

Project Type Discretionary Project

Primary Contact TIM SEAMAN
TIM@CHAMPIONPERMITS.COM
6199938846

Instructions

<p>The following issues require corrections to the documents submitted.</p>

Other

Coastal Commission

Hector Rios
HRios@sandiego.gov
619-533-6733

[**Comment 00063** | **Page** | **Open**]

2/3/2024 - No comments at this time.

Community Planning Group

Hector Rios
HRios@sandiego.gov
619-533-6733

[**Comment 00064** | **Page** | **Open**]

1. The proposed project is located within the Peninsula Community Plan Area. The Peninsula Community Planning Group is the officially recognized community group for the area to provide recommendations to the City.
2. If you have not already done so, please contact The Chairperson of the PeninsulaCommunity Planning Group to schedule your project for a presentation before the group at their next available meeting. If you have already obtained a recommendation from the group, please submit a copy of the recommendation and/or minutes from the meeting which includes the vote count to hrios@sandiego.gov.
3. Development Services Department (DSD) Information Bulletin #620, "Coordination of Project Management with Community Planning Committees" (available at <https://www.sandiego.gov/development-services>), provides additional information about the advisory role of the Community Planning Groups. Council Policy 600-24 provides guidance to the Community Planning Groups and is available at https://docs.sandiego.gov/councilpolicies/cpd_600-24.pdf



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

DSD-Engineering Review

Karen Vera
KVera@sandiego.gov

[Comment 00001 | Page | Open]

These comments are draft and subject to change until presented by the City's assigned Development Project Manager in conjunction with the project Assessment Letter. Staff is unable to process formal, intermediate plan changes and updates outside the full submitted cycle. A formal response to these comments must be made through the resubmittal process in response to the full Assessment Letter. Your DSD Development Project Manager can assist with further questions. (Information Only – No Action Required)

[Comment 00002 | Page | Open]

The Engineering Review Section has reviewed the subject development and have the following comments that need to be addressed prior to a Public Hearing / Public Notice of Decision. Upon resubmittal, we will complete our review of the Coastal Development Permit Plans.

[Comment 00003 | Page | Open]

The San Diego Water Board adopted Order No. R9-2013-0001, NPDES No. CAS0109266, National Pollutant Discharge Elimination System (NPDES) Permit and Waste Discharge Requirements for Discharges from the Municipal Separate Storm Sewer Systems (MS4s) Draining the Watersheds within the San Diego Region. This project will be required to adhere to the City of San Diego Storm Water Standards in effect at the time of approval of ministerial permit.

[Comment 00004 | Page | Open]

Based on the submitted information, project is a Standard Development Project. (Information Only – No Action Required)

[Comment 00005 | Page | Open]

Submit a completed Form I-4 and Form I-5 that addresses how the 8 possible Low Impact Development (LID) BMPs and 6 possible Source Control BMPs have been incorporated into the project. If any of the 14 possible BMPs have not been applied in the project design, add a discussion in the form why the omitted BMPs are not feasible or not applicable.

[Comment 00006 | Page | Open]

A copy of the Standard SWQMP forms I-4 and I-5 can be downloaded from:
https://www.sandiego.gov/sites/default/files/january_2018_storm_water_standards_manual_0.pdf (Information Only – No Action Required)

[Comment 00007 | Page | Open]

Revise the Site/Grading Plan. Add a note that states: Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

[Comment 00008 | Page | Open]

Please add the following note to site plan: The proposed project will comply with all the requirements of the current City of San Diego Storm Water Standards Manual before a Grading or Building permit is issued. It is the responsibility of the



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

owner/designer/applicant to ensure that the current storm water permanent BMP design standards are incorporated into the project.

[Comment 00009 | Page | Open]

Please remove WPCP forms from submittal. This is a discretionary process, construction documents can not be included as part of entitlements/exhibit A. Project will be conditioned for a WPCP in the ministerial phase of the project.

[Comment 00010 | Page | Open]

Revise Site/Grading plan to show the following: maximum depth of cut/fill areas. Plan shall include the drainage patterns and slope gradients. Show the collection/discharge points for any site and roof drains

[Comment 00011 | Page | Open]

Show and callout how site drainage will convey to nearest public storm drain system. Please note, Engineering Review does not allow concentrated flows across the Right-of-Way. Direct discharges into the public sidewalk are not allowed due to potential negative impact to pedestrian traffic.

[Comment 00012 | Page | Open]

Revise the Site Plan. Add a note that states: Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

[Comment 00013 | Page | Open]

The applicant will be required to construct all public improvements to meet current State Accessibility Compliance and current City Standards or are damaged during construction (driveways, curb and gutter, sidewalk, right of way dedication, etc). Please refer to SDMC Chapter 14, Article 2, Division 6 for public improvements regulations.

[Comment 00014 | Page | Open]

Revise plans to show all existing and proposed improvements located within the City's right-of-way (including curb, gutter, sidewalk, driveway, etc.). Please also call out the associated standards for each proposed improvement.

[Comment 00015 | Page | Open]

Revise plans to show and call out the curb-to-property-line, curb-to-centerline and property-line-to-property-line distances for Amiford Drive.

[Comment 00016 | Page | Open]

Informational: Per the City of San Diego Street Design Manual and Peninsula Community Plan, minimum parkway width configuration for Amiford Dr shall be 12 feet with a non-contiguous sidewalk and dedication may be required with future development.

[Comment 00017 | Page | Open]

The project will be required to reconstruct the existing curb at the Amiford Dr frontage and replace with curb and gutter as required by SDMC 142.0610. On the site plan, show and callout the new curb and gutter to be constructed in accordance with the current City of San Diego Standards.

[Comment 00018 | Page | Open]



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Call out the removal and replacement of driveway to comply with current City Standards. Please refer to 142.0560 (j) Table 142-05M for driveway requirements. Please dimension driveway on site plan.

[Comment 00019 | Page | Open]

Project shall adhere to visibility area triangles per San Diego Municipal Code Section 113.0273 and Diagram 113-02SS. Add the visibility area triangles, per San Diego Municipal Code Diagram 113-02SS. Add a note that states: No obstruction including solid walls in the visibility area shall exceed 3 feet in height. Per SDMC Section 142.0409 (b)(2), Plant material, other than trees, located within visibility areas or the adjacent public right-of-way shall not exceed 36 inches in height, measured from the lowest grade abutting the plant material to the top of the plant material.

[Comment 00020 | Page | Open]

Please revise plans to show and call out all existing and proposed encroachments in the Amiford Dr public right of way.

[Comment 00021 | Page | Open]

Please clarify if property has a recorded Encroachment Maintenance & Removal Agreement (EMRA); if so, please submit for review. If not, project will be conditioned for an EMRA for non-standard improvements and landscape in the public ROW as a condition of approval.

[Comment 00022 | Page | Open]

Development Permit Conditions will be determined on the next submittal when all requested information is provided. (Information Only – No Action Required)

[Comment 00023 | Page | Open]

Please provide a written response to all comments whether you agree or not and in case of disagreement, express your reasoning.

[Comment 00024 | Page | Open]

Additional comments may be recommended pending further review of any redesign of this project. These comments are not exclusive. Should you have any questions or comments, please email Karen Vera at KVera@sandiego.gov. (Information Only – No Action Required)

DSD-Planning Review

Linda Figueroa
lfigueroa@sandiego.gov

[Comment 00027 | Page | Open]

Project Information

These comments are draft and subject to change until presented by the City's assigned Development Project Manager in conjunction with the project Assessment Letter. Staff is unable to process formal, intermediate plan changes and updates outside the full submitted cycle. A formal response to these comments must be made through the resubmittal



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

process in response to the full Assessment Letter. Your DSD Development Project Manager can assist with further questions.

The project site is located at 971 Amiford Dr, APN (531-440-0300), within the PENINSULA Community Plan area on a 7,501sf site. The site is zoned (RS-1-7) with overlays including:

- ALUCOZ – SDIA, NAS NORTH ISLAND
- CHLOZ
- COZ – CST-APP
- COZFPR
- AFFORDABLE HOUSING PARKING DEMAND – HIGH
- AIA – SDIA REVIEW AREA 2, NAS NORTH ISLAND REVIEW AREA 2
- FAA – SDIA 165', NAS NORTH ISLAND 146'
- BRUSH MANAGEMENT
- VHFSZ
- CCMC – MOBILITY ZONE 4
- PALEONTOLOGICAL SENSITIVITY AREA – MODERATE

The project proposes a 384sf first floor addition and new 1,385sf second floor addition for an existing SDU.

(Information Only)

[[Comment 00028](#) | [Page](#) | [Open](#)]

Permit Requirements

A Coastal Development Permit (CDP) is required as it proposes an increase in more than 10% of current square footage and structure height of the existing residence located within the first public roadway. Pursuant to Section 126.0707(b) a decision on an application for a City-issued CDP in the appealable area of the Coastal Overlay Zone requires a CDP in accordance with Process Three, Hearing Officer as the decision maker, appealable to the Planning Commission in accordance with Section 112.0506 and the Coastal Commission per Section 126.0710(a).

(Information Only)

[[Comment 00029](#) | [Page](#) | [Open](#)]



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Draft Findings

Please provide draft findings for a CDP per Section 126.0708(a).

[[Comment 00030](#) | [Page](#) | [Open](#)]

Community Plan Review

The project site is in an area of the Peninsula Community Plan designated Single Family Residential (9 du/ac) per Figure 7. The project proposes a 1,769sf addition to an existing single dwelling unit. The proposed development meets the density allowance of the community plan. (Information Only)

[[Comment 00031](#) | [Page](#) | [Open](#)]

The Land Use element of the community plan recommends existing low and very low-density residential areas should be protected as single-family neighborhoods. The project is located within a protected single-family neighborhood per Figure 7a and proposes additions to existing dwelling unit; an increase in density is not proposed. The project meets this recommendation.

[[Comment 00032](#) | [Page](#) | [Open](#)]

The Urban Design element of the community plan recommends that new development should be consistent the scale and character of the existing development of the surrounding areas (p. 108). Please describe how the design of this development achieves balance and compatibility with the surrounding neighborhood. (Response Required)

[[Comment 00033](#) | [Page](#) | [Open](#)]

The Urban Design element of the community plan recommends building bulk should be controlled through the use of vertical and horizontal offsets and other architectural features (balconies, porches, bay windows) which serve to break up building facades (p. 108). The proposed additions to the existing dwelling unit use vertical and horizontal offsets that break up the building facade on the East, South, and West portions of the home. The project meets this recommendation.



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

[Comment 00034 | Page | Open]

The Urban Design element of the community plan recommends protecting Peninsula's view corridors and natural scenic amenities (p. 105). The project is not located within a view corridor and does not provide public coastal views. The project meets this recommendation.

[Comment 00035 | Page | Open]

The Cultural and Heritage Resources element of the community plan recommends all significant historical, archaeological and paleontological resources of the community which have been designated by the City Historical Site Board should be preserved (p. 145). Historic staff has reviewed the project site within the last 5 years and determined the site does not contain a designated historic resource nor does it contain any potential historical significance; therefore, the project is in general conformance with the Historic Element of the community plan.

[Comment 00036 | Page | Open]

LDC Review

-City mapping records indicate the site contains an established 12' FYSB. Please show, label, and dimension this setback on the Site Plan.

[Comment 00037 | Page | Open]

The lot is considered irregular shaped. T lot width is determined by calculating the average lot width for the first 50 'of lot depth per Section113.0243(c)(1). Please show, label, and dimension the lot width at the first 50' of lot depth and revise the SYSB accordingly.

[Comment 00038 | Page | Open]

Mechanical equipment encroaching into the SYSB shall be located 4' from the property line per Section 131.0461(a)(5) (A). Please dimension the distance of the new generator from the property line on the Site Plan.



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

[Comment 00039 | Page | Open]

The 6' solid wood fence in the FYSB cannot be permitted as propose. Please see Section 142.0310(c)(1) for solid fence regulations in the FYSB. Alternatively, the applicant may propose a combination fence where a 3' open fence is permitted on top of a 3' solid fence per Section 142.0310(c)(3)(A). Be advised an open fence in the Coastal Overlay Zone shall have at least 75 percent of its vertical surface area open to light per Section 142.0310(c)(2)(C).

[Comment 00040 | Page | Open]

The existing dimensions of the home do not match the Assessors Building Record. Staff researched the history of the site and cannot find permits for the additions to home in the rear. Please revise the demo plan and wall matrix to accurately show all unpermitted portions of the home.

[Comment 00041 | Page | Open]

The angled building envelope plane shall be required adjacent to required side yards per Section 131.0444 (c). Show, label, and dimension the 45-degree angled building envelope adjacent to the SYSB at the 24' mark on the West Elevation and East Elevation.

[Comment 00042 | Page | Open]

The site is located within the Coastal Height Limit Overlay Zone. No building or structure shall be constructed with a height in excess of 30' within the CHLOZ per Section 132.0505. The base of measurement of the height shall be in accordance with the Uniform Building Code of 1970.

Please provide the following information in order for staff to determine compliance with the CHLOZ (i.e. Prop. D). On the site plan please identify the lowest and highest points of finish grade between the exterior building wall and 5' from said wall. These two points are considered the highest and lowest "adjacent ground elevation."

On the elevation plans for each building, please identify the difference in elevation between the highest and lowest "adjacent ground elevation."

If the difference in elevation is 10' or less, the reference datum (base of measurement for Coastal Height) is established at the highest adjacent ground elevation. See Figure 2 of Technical Bulletin 5-4 for an example. If the difference in elevation is greater than 10 feet, the reference datum is established at 10' above the lowest adjacent ground elevation. See Figure 3 of Technical Bulletin 5-4 for an example. Technical Bulletin 5-4 can be accessed online at the following



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

address: <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/techbulletin/bldg-5-4.pdf>.

Please revise plans accordingly.

[Comment 00043 | Page | Open]

In order for Planning staff to determine conformance with Plumb Line Structure Height per Section 113.0270(a)(2)(A), please provide the following:

On all elevation drawings, clearly identify and delineate grade directly abutting the proposed structure as either existing or proposed. If existing grade is to remain, please identify as such.

On **all elevation drawings**, show, label, and dimension a 30-foot parallel projection of the lower of existing or proposed grade, per Diagram 113-02JJ. This imaginary plane will represent the maximum permitted Plumb Line Structure Height.

[Comment 00044 | Page | Open]

COZ Review

The site is located within the Coastal Overlay Zone and the First Public Roadway but does not have an existing or potential public view. The development conforms to Section 132.0403.

(Information Only)

[Comment 00045 | Page | Open]

Community Planning Group

If the applicant has not already done so, please contact Fred Kosmo, Chairperson (Interim) of the Peninsula Community Planning Group, at fkosmo@wilsonturnerkosmo.com or 419-215-4287 to schedule this project for a presentation before the group at their next available meeting. If the applicant has already obtained a recommendation from the group, please submit a copy of the recommendation and/or minutes from the meeting which includes the vote count to the Development Project Manager. Planning will review the recommendation as part of this review.



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

[[Comment 00046](#) | [Page](#) | [Open](#)]

Draft Condition

Prior to the issuance of a building permit, the Owner/Permittee shall submit the project to the Federal Aviation Administration (FAA) for Obstruction Evaluation and Airport Airspace Analysis as required by Title 14 of the Code of Federal Regulations, Part 77, Objects Affecting Navigable Airspace. Alternatively, a professional, licensed by the state of California to prepare construction documents, may complete form DS-503 No FAA Notification Self-Certification Agreement.

LDR-Environmental

Rhonda Benally
RBenally@sandiego.gov
(619) 446-5468

[[Comment 00052](#) | [Page](#) | [Open](#)]

Project Issues

The project has been reviewed in accordance with the California Environmental Quality Act (CEQA). The Environmental Analysis Section (EAS) is not able to make a determination at this time pending submittal of additional information and resolution of the other reviewing disciplines' (DSD-Planning, Plan-Historic, Fire-Plan review and DSD-Engineering) issues.

[[Comment 00055](#) | [Page](#) | [Open](#)]

AB 52 (Tribal Cultural Resources) Notification:

Pursuant to Assembly Bill (AB) 52, if ground disturbance is proposed then AB 52 Notification to Tribal Representatives may be required for this project.

[[Comment 00056](#) | [Page](#) | [Open](#)]

Historical Resources (Archaeology)

EAS will consult with qualified City staff if archaeological analysis will be required on this project.

[[Comment 00057](#) | [Page](#) | [Open](#)]

Grading/Excavation/Paleontology



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

According to the City's GIS map layer the project is underlain by Very Old Paralac Deposits which is considered moderately sensitive for paleontological resources. Excavation information was not provided in this submittal. Please clarify the total amount (cy) of excavation proposed for the entire project and the maximum depth of cut on the plans. Until this information is received paleontological resources cannot be addressed.

[[Comment 00058](#) | [Page](#) | [Open](#)]

Historical (Built Environment)

The project has been reviewed by the Plan-Historic staff (PHS). EAS defers to Plan-Historic for additional information and comments. Until this issue has been addressed to the satisfaction of PHS this issue remains outstanding.

[[Comment 00059](#) | [Page](#) | [Open](#)]

Greenhouse Gas Emissions (GHG)

The city's GHG Emissions CEQA Significance Thresholds (GHG Thresholds) has been updated to be compliant with the CAP Consistency regulations under Chapter 14, Article 3, Division 14. The CAP Consistency Checklist is no longer applicable. All current projects will be subject to these regulations. EAS defers to LDR Permit Planning, Landscape, Engineering (Long Range Planning and Transportation – if applicable) to determine the project's consistency with the CAP consistency regulations.

[[Comment 00060](#) | [Page](#) | [Open](#)]

Other

Please note additional environmental issues may arise as the review progresses. Should the project be redesigned or changed in project scope then EAS would need to review the project.

Site Development Plans PRJ-1124882.pdf

DSD-Historic

Alvin Lin
AMLin@sandiego.gov

[[Comment 00047](#) | [Sheet G101](#) | [Open](#)]

The property located at **971 Amiford Dr, APN 531-440-0300**, is not an individually designated resource and is not located within a designated historic district. However, San Diego Municipal Code Section 143.0212 requires City staff to review all projects impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. (Info Only, No Response Required.)

During this review buildings are evaluated for eligibility under local designation criteria. The designation criteria and guidelines for their application can be found on the City's website:

https://www.sandiego.gov/sites/default/files/dsd_hrb_designation_criteria_guidelines.pdf (Informational Only; No Response or Action Required)

More information regarding this review process can be found in Information Bulletin 580:

<https://www.sandiego.gov/sites/default/files/dsdib580.pdf> (Informational Only; No Response or Action Required)



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

If City staff determines after review of these documents that no potentially significant historical resource exists on site, the parcel will be exempt from further historical review for five years from this date unless new information is provided that speaks to the building's eligibility for designation. (Informational Only; No Response or Action Required.)

If City staff determines that a potentially significant historical resource exists on the site, all modifications and additions will be evaluated to determine consistency with the Secretary of the Interior's Standards for Treatment of Historic Properties (Standards). If the proposed project is consistent with the Standards, the permit process may proceed and the parcel will require additional review for all future modifications. If the proposed project is not consistent with the Standards, the applicant may redesign the project or prepare a historic report that evaluates the building's integrity and eligibility under all designation criteria. (Informational Only; No Response or Action Required.)

[Comment 00048 | Sheet G101 | Open]

Staff cannot make a determination with the information provided. Please provide the following documents:

Discretionary projects are required to submit all documentation identified in Information Bulletin 580, Section II.D. Please review the Bulletin and provide all documentation not provided with this submittal, including: written description of the property including architectural style, materials, features, setting & related structures; and Notice of Completion.

Please provide a written description of the existing property – including architectural style, materials, features, setting and related structures. This narrative analysis should also include the building's construction history and its current condition/design with a focus on the existing architectural design and any observed alterations.

[Comment 00049 | Sheet G101 | Open]

Please provide a Notice of Completion for the subject property – this document is typically provided as part of a chain of title search. This item can be obtained at the same location as the County building record, County Administration Center, 1600 Pacific Highway, Room 103, San Diego, CA 92101. If a Notice of Completion cannot be located, then add this note to a standalone sheet: "Notice of Completion cannot be located."

[Comment 00050 | Sheet G101 | Open]

Please combine all the requested historical review document(s) into a single PDF and upload to Accela under document type "Historic Resource Information."

Fire-Plan Review

Jordan Buller
jbuller@sandiego.gov
858-325-7545

[Comment 00025 | Sheet A101 | Open]

Fire reserves the right to provide additional comments based on revisions and subsequent submittals.

[Comment 00026 | Sheet A101 | Open]

Provide a Brush Management Plan per Landscape and Fire requirements, as the project is in VHFSZ. Show mitigation applied to the structure as a note on the Brush Management Plan. Refer to Landscape comments for information on the Brush Management Plan.

Fire will review for Alternative Compliance mitigation due to reduced defensible space before Landscape sign-off. **Call out portions of the new construction or remodel that will expand the footprint of the structure closer to the natural/native vegetation. Only these areas will require alternative compliance.**



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

See FPB Policy B-18-01

https://www.sandiego.gov/sites/default/files/f-18-1.policy_0.pdf

Development Services Department

Approval #2418964 - Combination Building Permit



Approval Information

Status	Completed
Issued	08/10/2020
Issued by	Loeber, Claudia
Permit Holder	Michael Crawford
Net Change DU	0
Valuation	\$42,162.45
Sq. Footage	0
First Inspection	08/14/2020
Complete Date	10/12/2020
Scope	Addition to extg one story single family residence. Work to include bedroom with bathroom and roof patio.

Job

Address	971 AMIFORD DR
APN	531-440-03-00
BC Codes	Add/Alt 1 or 2 Fam, No Chg DU

Project

Project ID	663036 (/OpenDSD/Web/Projects/Details/663036)
Account	
Admin Hold	No
Project Name	Crawford Addition

Project Contact Combs, Jim
(619)446--5000
dsdprojectinfo@sandiego.gov

Project Scope SCP CHG 07-02-20. PENINSULA. Combination building permit for addition to extg one story single family residence. Work to include new bathroom & covered patio with roof deck above. RS-1-7. Coastal. Brush management. Geo haz 52.

Fees



Exceptions



Inspections



Issues



Dependent Approvals



Dependent Packages



Data TimeStamp: 03/25/2025 19:05:25