

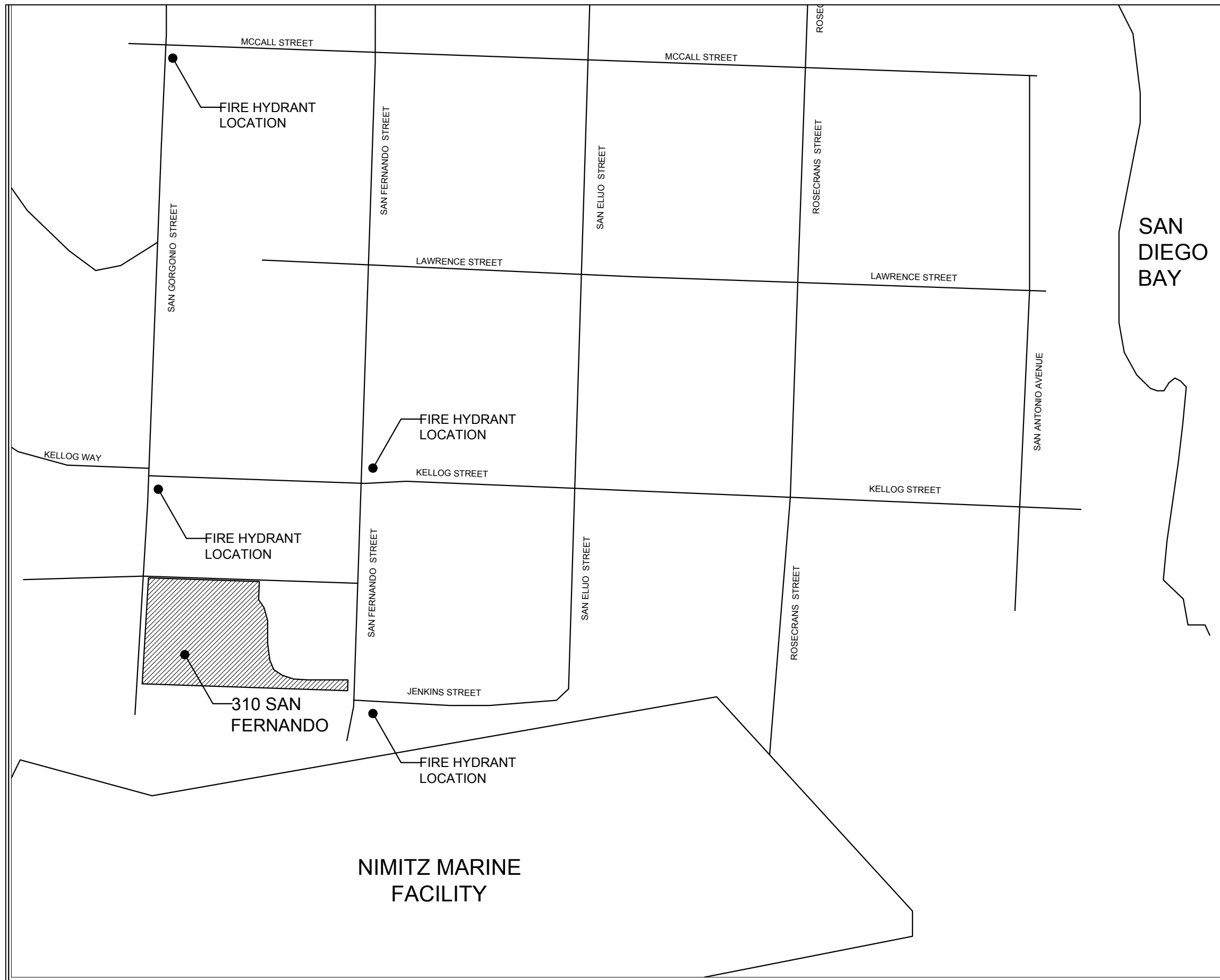
THESE DRAWINGS ARE  
BEING SUBMITTED AS  
A PRO CERT  
APPLICATION

THESE DRAWINGS ARE  
BEING SUBMITTED AS  
A PRO CERT  
APPLICATION

# SAN FERNANDO RESIDENCE

310 SAN FERNANDO STREET  
SAN DIEGO, CA 92106

PATRICK MCINERNEY ASSOCIATES  
RIBA, ARB, AADIPL  
INTER ASSOC AA  
T: 619 994 7991  
E: pdmcinerney@mac.com



**PROJECT SITE MAP**

**PROJECT TEAM**

**DESIGNER** NAME: MCINERNEY + ASSOCIATES  
 ADDRESS: 5711 LA JOLLA BLVD  
 CITY, STATE, ZIP: SAN DIEGO, CA. 92037  
 TEL: 619 994 7991  
 EMAIL: PDMCINERNEY@MAC.COM  
 CONTACT: PATRICK MCINERNEY

**APPLICABLE CODES**  
 CALIFORNIA BUILDING CODE 2022 (BASED ON 2021 IBC)  
 CALIFORNIA RESIDENTIAL CODE 2022 (CRC)  
 CALIFORNIA PLUMBING CODE 2022 (BASED ON 2021 UPC)  
 CALIFORNIA MECHANICAL CODE 2022 (BASED ON 2021 UMC)  
 NATIONAL ELECTRIC CODE 2023 (BASED ON 2023 NEC)  
 CALIFORNIA ENERGY CODE 2022  
 CALIFORNIA ELEVATOR SAFETY CODE  
 CALIFORNIA FIRE CODE 2022 (BASED ON 2021 IFC)  
 CALIFORNIA GREEN BUILDING CODE 2022

**NOTES**

- A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.
- PROPERLY COMPLETED AND SIGNED COPIES OF THE PROPERTY OWNER / CONTRACTOR AGREEMENT FORM FOR SPECIAL INSPECTION AND CONSTRUCTION MATERIAL TESTING MUST BE SUBMITTED AT THE PERMIT SERVICES DIVISION PRIOR TO ISSUANCE OF THE PERMIT (TWO SETS).
- THE DRAWINGS SHOW DESIGN INTENT ONLY. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION OR PRODUCTION. CONSTRUCTIONS DETAILS TO BE CONFIRMED BY CONTRACTOR/ MANUFACTURER BY SUBMITTING SHOP DRAWINGS FOR DESIGNERS APPROVAL.
- THE DRAWINGS ARE NOT TO BE SCALED FOR PRODUCTION AND CONSTRUCTION PURPOSES
- ALL DISCREPANCIES ON SITE MUST BE REPORTED TO THE DESIGNER FOR COMMENT AND / OR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

**GENERAL NOTES**

MCINERNEY AND ASSOCIATES EXPRESSLY RESERVES COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT THE WRITTEN CONSENT OF MCINERNEY AND ASSOCIATES LTD.

IN THE EVENT OF UN-AUTHORIZED USE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY WILL HOLD MCINERNEY AND ASSOCIATES HARMLESS.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE  
 ANY DISCREPANCIES FOUND WITHIN THESE DRAWINGS ARE TO BE REPORTED TO THE MCINERNEY AND ASSOCIATES PRIOR TO CONSTRUCTION.

**PROJECT INFORMATION**

**OWNER**

BG CONSOLIDATED LLC  
 1441 MONTIEL ROAD SUITE 115  
 ESCONDIDO, CA 92026-2239

**SITE ADDRESS**

310 SAN FERNANDO STREET  
 SAN DIEGO, CA 92106

**APN**

APN: 532-481-05-00

**LEGAL DESCRIPTION**

**LOT DESCRIPTION:**  
 APN 532-481-05-00

THAT PORTION OF THE SOUTHERLY HALF OF LOT 118 OF THE PUEBLO LANDS OF SAN DIEGO (BEING SOMETIMES KNOWN AS LOTS 1 AND 4 IN BLOCK 118 OF LA PLAYA) IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO STATE OF CALIFORNIA, ACCORDING TO MAP THEROF MADE BY CHARLES H POOL IN 1856, A COPY OF WHICH SAID MAP WAS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 14 1921 AND IS KNOWN AS MISCELLANEOUS MAP NO 35; TOGETHER WITH A PORTION OF THE NORTHLY HALF OF JENKINS STREET ADJOINING SAID LOT 4 ON THE SOUTH AS VACATED AND CLOSED TO PUBLIC USE ON MAY 13 1913 BY RESOLUTION NO 13922 OF THE CITY COUNCIL OF THE CITY OF SAN DIEGO AND DESCRIBED AS THE WHOLE AS FOLLOWS:

COMMENCING AT THE NORTHEASTERLY CORNER OF SAID LOT 4 AS SHOWN ON RECORD OF SURVEY MAP NO 1562, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 23, 1947; THENCE ALONG THE EASTERLY LINE OF SAID LOT 4, SOUTH 12DEG 39'00" WEST, 149.52 FEET TO THE SOUTHEASTERLY CORNER OF LAND DESCRIBED IN DEED TO ROBERT K CLEATOR, ET UX, DATED APRIL 29, 1948 AND RECORDED JULY 2, 1948 AS DOCUMENT NO. 65637 OF OFFICIAL RECORDS AND THE TRUE POINT OF BEGINNING; THENCE ALONG THE BOUNDRY OF SAID CLEATOR'S LAND NORTH 78DEG08'20" WEST, 50.22 FEET TO THE BEGINNING OF A TANGENT 54.76 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY; THENCE CONTINUING ALONG THE BOUNDARY OF SAID CLEATOR'S LAND AS FOLLOWS: NORTHWESTERLY AND NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 87DEG 26'40" A DISTANCE OF 83.57 FEET; TANGENT TO SAID CURVE NORTH 09DEG 18'20" EAST, 26.57 FEET TO THE BEGINNING OF TANGENT 80.33 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY; NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH THE CENTRAL ANGLE OF 44DEG 46'00" A DISTANCE OF 63.15 FEET; AND NORTH 10DEG 11'20" EAST, 16.73 FEET TO THE INTERSECTION WITH THE NORTHERLY LINE OF SAID LOT 4; THENCE ALONG THE NORTHERLY LINE OF SAID LOTS 4 AND 1 NORTH 77DEG 19'30" WEST, 165.91 FEET TO THE NORTHWESTERLY CORNER OF LOT 1, THENCE ALONG THE WESTERLY LINE OF SAID LOT 1, SOUTH 12DEG 48'00" WEST, 150 FEET TO THE SOUTHWESTERLY CORNER OF SAID LOT 1; THENCE ALONG THE SOUTHERLY LINE OF SAID LOTS 1 AND SOUTH 77DEG 19'10" EAST, 200.58 FEET TO THE MOST WESTERLY CORNER OF LAND DESCRIBED AS PARCEL 2 IN DEED TO EDWIN T STARKE ET UX, DATED FEBRUARY 10, 1948 AND RECORDED JULY 2 1948 AS DOCUMENT NO. 65638 OF OFFICIAL RECORDS, BEING A POINT ON THE ARC OF A 73.70 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, THE CENTER OF SAID CURVE BEARS NORTH 48DEG 44'00" EAST FROM SAID POINT; THENCE ALONG THE BOUNDARY OF SAID STARKE'S LAND AS FOLLOWS: SOUTHEASTERLY AND EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 36DEG 52'20" A DISTANCE OF 47.42 FEET; AND TANGENT TO SAID CURVE SOUTH 78DEG 08'20" EAST, 55.93 FEET TO AN INTERSECTION WITH THE SOUTHERLY PROLONGATION OF THE EASTERLY LINE OF SAID LOT 4; THENCE ALONG SAID PROLONGATION AND SAID EASTERLY LINE NORTH 12DEG 38'00" EAST, 13.95 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL 2

AN EASEMENT FOR SEWER LINES AND PURPOSES INCIDENTAL THERETO OVER, UNDER, ALONG AND ACROSS THE SOUTHERLY 4.00 FEET OF LOTS 2 AND 3 OF KETTENBURG'S SUBDIVISION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3376, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 17, 1956.

EXCEPTING FROM SAID LOT 2, THE WESTERLY 61.00 FEET THEREOF.

**LIST OF DRAWINGS**

COVER SHEET		
TITLE SHEET	28 APRIL 2025	T1.0
TITLE SHEET (EMAIL)	7 DECEMBER 2024	T1.1
LAND SURVEY	28 APRIL 2025	SP1.0
SITE PLAN / SECTIONS	7 DECEMBER 2024	SP1.1
BMP PLAN	7 DECEMBER 2024	SP1.2
EXISTING FLOOR PLANS	7 DECEMBER 2024	A1.0
EXISTING ELEVATIONS	7 DECEMBER 2024	A1.1
PHOTO SURVEY	7 DECEMBER 2024	A1.2
DS-560	7 DECEMBER 2024	A1.3
I-4 / I-5	28 APRIL 2025	A1.4

**ZONING INFORMATION**

<b>ZONE</b>	RS-1-4
<b>GROSS LOT AREA</b>	30,120 SQFT
<b>FRONT SETBACK</b>	20FT MIN (SEC131.0442(A)1
<b>MIN. SIDE SETBACK</b>	6FT
<b>MIN REAR SETBACK</b>	20FT
<b>MAXIMUM STRUCTURE HEIGHT</b>	24' / 30'

**ZONING DESIGNATION**

**ZONE** RS-1-4  
 COASTAL OVERLAY ZONE (PROCESS 3 APPEALABLE )  
 COASTAL HEIGHT LIMITATION OVERLAY ZONE  
 PARKING IMPACT ZONE  
 COASTAL IMPACT AREA OF THE PARKING IMPACT OVERLAY ZONE  
 LOCAL COASTAL PROGRAM  
 PENINSULA COMMUNITY PLANNING AREA  
 TRANSIT PRIORITY AREA

**SCOPE OF WORK**

THIS APPLICATION IS TO DEMOLISH / REMOVE THE EXISTING SINGLE FAMILY STRUCTURE AT 310 SAN FERNANADO STREET, SAN DIEGO 92106.

THE C.1912 TWO STORY TIMBER FRAMED STRUCTURE HAS BEEN DETERMINED BY THE CITY OF SAN DIEGO TO BE NON-HISTORIC.

SEE LETTER DATED 6 DECEMBER 2024 (T1.1)

<b>PLANNING AREA</b>	PENINSULA COMMUNITY PLANNING AREA
<b>PROCESS LEVEL</b>	THREE
<b>APPROVAL APPLICATION DESCRIPTION</b>	DISCRETIONARY
<b>LOCATION</b>	SEE ABOVE
<b>BASE ZONE</b>	310 SAN FERNANDO STREET, SD CALIFORNIA 92106
<b>OVERLAY ZONES</b>	RS-1-4
<b>CITY OF SD COUNCIL</b>	COASTAL OVERLAY ZONE (PROCESS 3 APPEALABLE ) COASTAL HEIGHT LIMITATION OVERLAY ZONE PARKING IMPACT ZONE COASTAL IMPACT AREA OF THE PARKING IMPACT OVERLAY ZONE LOCAL COASTAL PROGRAM TRANSIT PRIORITY AREA DISTRICT TWO

**TRANSIT STOPS**

NO TRANSIT STOPS EXISTING / PROPOSED

**DEVELOPMENT SUMMARY**

<b>SCOPE OF WORK:</b>	WE PROPOSE TO REMOVE / DEMOLISH AN EXISTING 2918SQFT 2 STORY SINGLE FAMILY RESIDENCE
<b>EXISTING TYPE OF CONSTRUCTION:</b>	TYPE V NON-RATED
<b>EXISTING OCCUPANCY:</b>	R-3
<b>YEAR CONSTRUCTED:</b>	circa 1912
<b>NUMBER OF UNITS</b>	1 SFR
<b>EXISTING LANDSCAPE AREA</b>	APPROX 28,000SQFT

**HAZARDS**

GEOLOGIC HAZARD CATEGORY 53

**EXISTING CONSTRUCTION**

<b>EXISTING FLOOR AREA GROUND FLOOR (HEATED)</b>	1,560SQFT
<b>EXISTING FLOOR AREA UPPER FLOOR (HEATED)</b>	1,358SQFT
<b>TOTAL EXISTING FLOOR AREA</b>	2,918SQFT

**SEPARATE PERMITS REQUIRED**

- DEMOLITION / REMOVAL BUILDING PERMIT

**PRO CERTIFICATION STATEMENT**

I HEREBY ACKNOWLEDGE AND CERTIFY THAT:

- I AM ACCOUNTABLE FOR KNOWING AND COMPLYING WITH THE GOVERNING POLICIES, REGULATIONS, AND SUBMITTAL REQUIREMENTS APPLICABLE TO THIS PROPOSED DEVELOPMENT
- I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS AND DECISION PROCESS FOR THE PROPOSED PROJECT, AND THAT FAILURE TO ACCURATELY IDENTIFY AN APPROVAL OR DECISION PROCESS COULD SIGNIFICANTLY DELAY THE PERMITTING PROCESS OR RESULT IN A CHANGE IN FEE / DEPOSIT REQUIREMENTS.
- CERTIFYING SUBMITTALS WITHOUT A DEVELOPMENT PERMIT COMPLETENESS REVIEW IS A PRIVILEGE AND REQUIRES ACCURATE SUBMITTALS ON A CONSISTENT BASIS.
- SUBMITTING INCOMPLETE DOCUMENTS AND PLANS ON A CONSTANT BASIS MAY RESULT IN THE DENIAL OF FUTURE SUBMITTALS BY CERTIFICATION WITHOUT A DEVELOPMENT PERMIT COMPLETENESS REVIEW.
- IF REQUIRED DOCUMENTS OR PLAN CONTENT IS MISSING OR NOT IN THE CORRECT DIGITAL FORMAT (PDF), THE PROJECT REVIEW WILL BE DELAYED.
- I HAVE REVIEWED THE DSD CUSTOMER BILL OF RIGHTS AND UNDERSTAND THAT DSD STRIKES FOR AN ATMOSPHERE OF MUTUAL RESPECT, COURTESY AND ACCOUNTABILITY ON BOTH SIDES OF THE TABLE. I AGREE TO WORK IN GOOD FAITH WITH MY DEVELOPMENT PROJECT MANAGER, ASK CLARIFYING QUESTIONS, PROPTLY RESPOND TO REQUESTS FOR INFORMATION AND DOCUMENTS, AND TREAT ALL STAFF WITH PROFESSIONAL COURTESY AND RESPECT.
- THIS SUBMITTAL PACKAGE MEETS ALL OF THE MINIMUM SUBMITTAL REQUIREMENTS CONTAINED IN LAND DEVELOPMENT MANUAL, VOLUME 1, CHAPTER 1, SECTION 4, SECTION 5 AND / OR SECTION 6 (FOR REZONES)

FOR THE PROPOSED PROJECT, I HAVE DETERMINED THE APPROPRIATE PROCESS AND APPROVAL TYPES TO BE AS FOLLOWS:

PROJECT PROCESS: LEVEL 3 APPEALABLE  
 PROJECT APPROVAL NEEDED: DEMOLITION / REMOVAL  
 RESPONSIBLE CERTIFIED PROFESSIONAL NAME: PATRICK MCINERNEY

SIGNATURE:  DATE: 13 DECEMBER 2024

**LOT AREA**

30,120 SQFT

**EARTHWORK QUANTITIES**

CUT QUANTITIES: 0 CU YRDS  
 FILL QUANTITIES: 0 CU YRDS  
 EXPORT: 0 CU YRDS  
 MAX CUT DEPTH: 0'-0"  
 MAX FILL DEPTH: 0'-0"

NO GRADING / GROUND DISTURBANCE TO BE PERFORMED WITH THIS APPLICATION

**IMPERVIOUS AREA**

<b>A. TOTAL LOT SIZE:</b>	30,120 SQ FT
<b>TOTAL EXISTING DISTURBANCE AREA:</b>	5,500 SQ FT
<b>B. EXISTING AMOUNT OF PERVIOUS AREA:</b>	5,500 SQ FT
<b>EXISTING AMOUNT OF IMPERVIOUS AREA:</b>	24,620 SQ FT
<b>C. PROPOSED AMOUNT OF PERVIOUS AREA:</b>	2,582 SQ FT
<b>D. PROPOSED AMOUNT OF IMPERVIOUS AREA:</b>	27,538 SQ FT
<b>E. TOTAL IMPERVIOUS AREA AFTER STRUCTURE REMOVED:</b>	27,538 SQ FT
<b>F. IMPERVIOUS AREA REDUCED (%):</b>	0%
<b>G. CREATED AND/OR REPLACED IMPERVIOUS AREA:</b>	0SQFT

**SUSTAINABLE DEVELOPMENT**

GOALS:

- TO REDUCE THE CITY'S OVERALL CARBON DIOXIDE FOOTPRINT BY IMPROVING ENERGY EFFICIENT MATERIALS.
- TO BE PREPARED FOR, AND ABLE TO ADAPT TO ADVERSE CLIMATE CHANGE IMPACTS.
- TO BECOME A CITY THAT IS AN INTERNATIONAL MODEL OF SUSTAINABLE DEVELOPMENT AND CONSERVATION.

REVISIONS:


MCINERNEY + ASSOCIATES  
 RIBA, ARB, AADIPL  
 INTER ASSOC AIA  
 T: 619 994 7991  
 E: pdmcinerney@mac.com

**SAN FERNANDO RESIDENCE**  
 310 SAN FERNANDO STREET,  
 SAN DIEGO, CA 92106


Date: 28 APRIL 2025  
 Sheet Title: TITLE PAGE

**T  
1.0**

LETTER SUZANNE SEGUR 6 DECEMBER 2024-  
EXISTING STRUCTURE DETERMINED AS NON HISTORIC

REVISIONS: 

Project Issues Report  
PRJ-1113010



6 December 2024 1:49:25 PM  
Page 1 of 3

THE CITY OF SAN DIEGO  
Development Services Department  
1222 1st Avenue, San Diego, CA 92101

---

**Project Address** 310 San Fernando St  
San Diego, CA 92106

**Project Type** Preliminary Review

**Primary Contact** dennis@nexplanning.com  
6199859280

**Instructions**

<p>The following issues require corrections to the documents submitted.</p>

---

Other


**DSD-Historic**

Suzanne Segur  
SSegur@sandiego.gov  
(619) 236-6139

**[ Comment 00001 | Page | Closed ]**

- The applicant has submitted a preliminary review application for the property located at [[enter address]] to determine whether or not the subject property is potentially historically significant and eligible for designation under one or more designation criteria.
- This preliminary review has been submitted in anticipation of the potential historic resource review required by SDMC Section 143.0212, which directs City staff to determine whether a potentially significant historical resource exists on site before the issuance of a construction permit for any parcel in the City that contains a structure 45 years old or older.
- More information regarding this review process can be found in Information Bulletin 580.
- During this review buildings are evaluated for eligibility under local designation criteria. The designation criteria and guidelines for their application can be found on the City's website.
- If City staff determines after review of these documents that no potentially significant historical resource exists on site, the parcel will be exempt from further historical review for five years from this date unless new information is provided that speaks to the building's eligibility for designation. (Informational Only; No Response or Action Required)
- If City staff determines that a potentially significant historical resource exists on the site, all future modifications and additions will be evaluated to determine consistency with the Secretary of the Interior's Standards for Treatment of Historic Properties (Standards). If a future proposed project is consistent with the Standards, the permit process may proceed and the parcel will require additional review for all future modifications.
- If a future proposed project is not consistent with the Standards, the applicant may redesign the project or prepare a historic report that evaluates the building's integrity and eligibility under all designation criteria. (Informational Only; No Response or Action Required)

Project Issues Report  
PRJ-1113010



6 December 2024 1:49:25 PM  
Page 2 of 3

THE CITY OF SAN DIEGO  
Development Services Department  
1222 1st Avenue, San Diego, CA 92101

---

- The applicant has submitted a Historic Resource Research Report prepared by Nexus Planning & Research dated March 6, 2024. The report concludes that the property was not significant under any HRB Criteria.
- Please note that two prior Historic Resource Research Reports were submitted to the City for the 310 San Fernando property: An HRRR by Scott Moomjian dated May 2019 that concluded that the property was not significant under any HRB Criteria and an HRRR by Legacy 106, Inc. dated June 2019 that concluded the property was significant under HRB Criteria A and C. Both reports were not deemed complete by City staff.
- The report cannot be deemed complete at this time. Please make the following corrections:

**[ Comment 00002 | Page | Closed ]**

- Include the Water/Sewer Records provided by staff in the report.

**[ Comment 00003 | Page | Closed ]**

- Provide an interior photo of the eastern porch wall. Staff would like to get a sense of what the inside of the porch wall looks like and if there is any scarring in the stucco.

**[ Comment 00004 | Page | Closed ]**

- Provide a detail photo of the current front porch roof balustrade.

**[ Comment 00005 | Page | Closed ]**

- In the Alterations section on page 10, clarify if the report is asserting that the front porch stairs have been modified and were originally in line with the concrete path that leads up the hill.

**[ Comment 00006 | Page | Closed ]**

- The Legacy 106 HRRR was recommending designation of the property under HRB Criterion A as a special element of the architectural, landscape, historic, and aesthetic development of the La Playa neighborhood. Specifically, the HRRR called out 310 San Fernando as a "unique Prairie style residential home in the community" and that the residence stood out "as an early remaining residence built in the La Playa community prior to the development booms of the 1920s." Please edit the report to include more information about 1) existing Prairie style residences in La Playa and 2) existing residences constructed prior to 1920 in La Playa.

**[ Comment 00007 | Page | Closed ]**

- The property is not a Spanish Eclectic style house, it is best defined as an example of a Prairie style residence. Please remove this analysis from the Criterion C analysis.

**[ Comment 00008 | Page | Closed ]**


- Under the architectural development analysis of Criterion A on page 21, please remove the reference to Spanish Eclectic style architecture and replace it with Prairie.

**[ Comment 00009 | Page | Closed ]**

- The analysis of the Prairie style under Criterion C should include a description of the vernacular Prairie style residences located within the City of San Diego and their character defining features. The Prairie style was adapted differently to the San Diego environment than it was in other parts of the country and the property may more accurately reflect the San Diego version of Prairie than the general description of the style in McAlester's Field Guide to Architectural Houses.

**[ Comment 00010 | Page | Closed ]**

Project Issues Report  
PRJ-1113010



6 December 2024 1:49:25 PM  
Page 3 of 3

THE CITY OF SAN DIEGO  
Development Services Department  
1222 1st Avenue, San Diego, CA 92101

---

- Please resubmit the edited report through Accela for review.

**[ Comment 00011 | Page | Closed ]**

- The applicant has submitted a revised HRRR by Nexus Planning and Research dated October 3, 2024 which concludes that the property is not significant under any HRB Criteria.
- Staff concurs with the report's conclusion that the building is not eligible for designation under any HRB Criteria. No further review by Plan-Historic staff is required.
- This determination is good for 5 years from this date unless new information is provided that speaks to the building's eligibility for designation. Please be aware that additional historic review may be required at any time if the applicant submits a discretionary project application subject to review under the California Environmental Quality Act (CEQA). (Info Only)

**[ Comment 00012 | Page | Closed ]**

- The property has been significantly modified so that it no longer retains integrity as it relates to Criterion C. Modifications include: the addition of a bay projection on the south facade, replacement of the original tile roof with composition shingles and the reorientation of the staircase leading up to the main entrance.
- The property is one of the older residences in the La Playa neighborhood of Point Loma; however, there is no evidence to support the designation of the property as a "special element" of development under Criterion A because there is no evidence to support that it is distinct among other older properties in the area or that it surpasses them in significance.

MCINERNEY + ASSOCIATES  
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INTER ASSOC AIA  
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**SAN FERNANDO RESIDENCE**  
310 SAN FERNANDO STREET  
SAN DIEGO, CA 92106

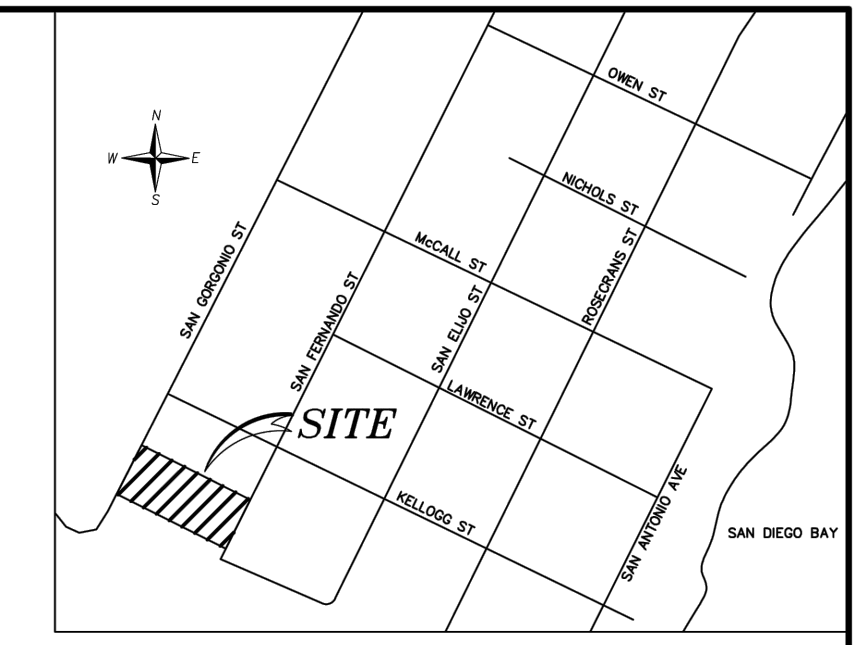
Date: 7 DECEMBER 2024

Sheet Title: TITLE PAGE

**T**  
**1.1**

# TOPOGRAPHIC MAP

## 310 SAN FERNANDO STREET SAN DIEGO, CALIFORNIA



BLOCK 127

KELLOGG STREET

BLOCK 117

SAN GORGONIO STREET

SAN FERNANDO STREET

BLOCK 119

LOT 1  
PER MAP 3376

LOT 2  
PER MAP 3376

LOT 3  
PER MAP 3376

BLOCK 118  
PER ROS 1562

LOT 4

532-481-01

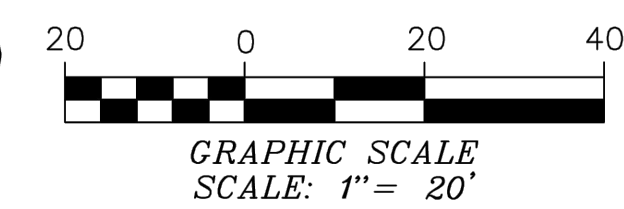
532-481-02

532-481-03

532-481-04

JENKINS STREET (VACATED)  
RES 13922 05/09/1913

BLOCK 116



### LEGAL DESCRIPTION

#### PARCEL 1

THAT PORTION OF THE SOUTHERLY HALF OF LOT 118 OF THE PUEBLO LANDS OF SAN DIEGO (BEING SOMETIMES KNOWN AS LOTS 1 AND 4 IN BLOCK 118 OF LA PLAYA) IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE BY CHARLES H. POOLE IN 1856, A COPY OF WHICH SAID MAP WAS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 14, 1921 AND IS KNOWN AS MISCELLANEOUS MAP NO. 35; TOGETHER WITH A PORTION OF THE NORTHERLY HALF OF JENKINS STREET ADJOINING SAID LOT 4 ON THE SOUTH AS VACATED AND CLOSED TO PUBLIC USE ON MAY 19, 1913 BY RESOLUTION NO. 13922 OF THE CITY COUNCIL OF THE CITY OF SAN DIEGO, AND DESCRIBED AS A WHOLE AS FOLLOWS:

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### LEGAL DESCRIPTION CONTINUED

CONCAVE SOUTHWESTERLY; NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 44°46'00" A DISTANCE OF 63.15 FEET; AND NORTH 10°11'20" EAST, 16.73 FEET TO THE INTERSECTION WITH THE NORTHERLY LINE OF SAID LOT 4; THENCE ALONG THE NORTHERLY LINE OF SAID LOTS 4 AND 1 NORTH 77°19'30" WEST, 165.91 FEET TO THE NORTHWESTERLY CORNER OF SAID LOT 1, THENCE ALONG THE WESTERLY LINE OF SAID LOT 1, SOUTH 12°48'00" WEST, 150.00 FEET TO THE SOUTHWESTERLY CORNER OF SAID LOT 1; THENCE ALONG THE SOUTHERLY LINE OF SAID LOTS 1 AND 4 SOUTH 77°19'10" EAST, 200.58 FEET TO THE MOST WESTERLY CORNER OF LAND DESCRIBED AS PARCEL 2 IN DEED TO EDWIN T. STARKE, ET UX, DATED FEBRUARY 10, 1948 AND RECORDED JULY 2, 1948 AS DOCUMENT NO. 65638 OF OFFICIAL RECORDS, BEING A POINT ON THE ARC OF A 73.70 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY; THE CENTER OF SAID CURVE BEARS NORTH 48°44'00" EAST FROM SAID POINT; THENCE ALONG THE BOUNDARY OF SAID STARKE'S LAND AS FOLLOWS: SOUTHEASTERLY AND EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 36°52'20" A DISTANCE OF 47.42 FEET; AND TANGENT TO SAID CURVE SOUTH 78°08'20" EAST, 55.93 FEET TO AN INTERSECTION WITH THE SOUTHERLY PROLONGATION OF THE EASTERLY LINE OF SAID LOT 4; THENCE ALONG SAID PROLONGATION AND SAID EASTERLY LINE NORTH 12°38'00" EAST, 13.95 FEET TO THE TRUE POINT OF BEGINNING.

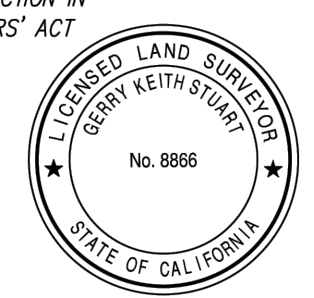
#### PARCEL 2

AN EASEMENT FOR SEWER LINES AND PURPOSES INCIDENTAL THERETO OVER, UNDER, ALONG AND ACROSS THE SOUTHERLY 4.00 FEET OF LOTS 2 AND 3 OF KETTENBURG'S SUBDIVISION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3376, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY FEBRUARY 17, 1956, EXCEPTING FROM SAID LOT 2, THE WESTERLY 61.00 FEET THEREOF.

### SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT  
DATE OF SURVEY: 10/01/2018

*Gerry Keith Stuart* 04/29/2025  
GERRY KEITH STUART P.L.S. 8866 DATE



### BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS TENTATIVE MAP IS THE CALIFORNIA COORDINATE SYSTEM, CC883, ZONE 6, EPOCH 91.35 AND IS DETERMINED BY G.P.S. MEASUREMENTS TAKEN ON 10/01/2018 AND WERE ESTABLISHED FROM G.P.S. STATION CEDARBRAE @ CATALINA AND G.P.S. STATION SD-3-92 1992 PER ROS 14492.

THE BEARING FROM G.P.S. STATION CEDARBRAE @ CATALINA TO G.P.S. STATION SD-3-92 1992 IS N78°05'49"W.  
QUOTED BEARINGS FROM REFERENCE MAPS OR DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM.

THE COMBINED GRID FACTOR AT G.P.S. STATION #1115 CEDARBRAE @ CATALINA IS 0.0000891  
GRID DISTANCE = GROUND DISTANCE X COMBINED GRID FACTOR.  
ELEVATION AT G.P.S. STATION #1115 CEDARBRAE @ CATALINA IS 340.22 NGVD29 DATUM.

### CITY OF SAN DIEGO BENCH MARK

BRASS PLUG AT THE NORTHEAST CORNER OF THE INTERSECTION SAN GORGONIO ST. AND KELLOGG ST.  
ELEVATION = 123.654 NGVD 1929

### BOUNDARY LINES

BOUNDARY LINES ARE PLOTTED USING LEGAL DESCRIPTION CONTAINED IN TITLE REPORT PROVIDED BY CLIENT

### EASEMENTS

NO EASEMENTS EXIST INSIDE THIS PROPERTY

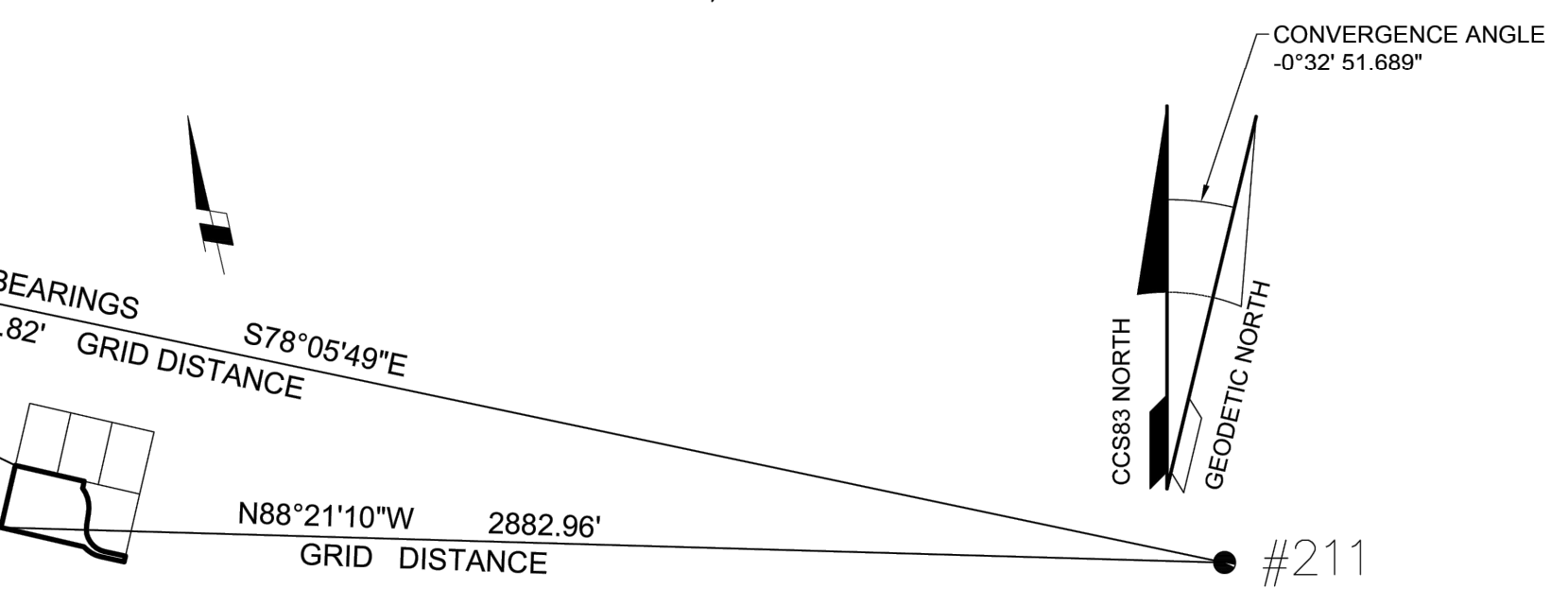
### TOPOGRAPHY

BY GROUND SURVEY METHODS AND COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS, UPDATED 10/2024

### LEGEND

---	PROPERTY / BOUNDARY LINE
---	STREET R/W LINE
---	CURB LINE (FROM 1"=20' ON TO 1"=200')
---	CURB LINE (1"=10', 1"=8', 1"=16')
---	CENTER LINE
---	FLOW LINE
---	LOT LINE / PARCEL LINE
---	EASEMENT LINE (W=WIDTH)
---	CONTOUR LINE (APPROXIMATE)
---	BUILDING FOOT PRINT LINE
---	OVERHANG LINE
---	FENCE LINE
---	RETAINING WALL
---	CONC. BLOCK WALL
---	EDGE OF ASPHALT PAVING
---	ELECTRIC LINE MARK OUT
---	GAS LINE MARK OUT
---	COMMUNICATION LINE MARK OUT
---	WATER LINE MARK OUT
---	SEWER & STORM DRAIN LINE MARK OUT
---	CONCRETE PAVING
---	MANHOLE (SEWER, STORM DRAIN, POWER, TELEPHONE)
---	POWER POLE (P.P.) / TELEPHONE POLE (T.P.)
---	SIGN (ALL KINDS)
---	STREET LIGHT
---	TRAFFIC SIGNAL
---	FIRE HYDRANT
---	GM / W.M.
---	GAS / WATER METER
---	GAS / WATER VALVE
---	TREE IN WELL W/TRUNK DIAMETER
---	BFP
---	BACKFLOW PREVENTER
---	CLEAN OUT
---	CHAINLINK (FENCE/GATE)
---	+123.4
---	TOPOGRAPHIC SPOT ELEVATION, NO LEADER
---	BW
---	BACK OF WALK ELEVATION
---	CONC
---	EDGE OF CONCRETE ELEVATION
---	VG
---	EDGE OF VALLEY GUTTER ELEVATION
---	EP
---	EDGE OF PAVEMENT ELEVATION
---	FL
---	FLOW LINE ELEVATION
---	TC
---	TOP OF CURB ELEVATION
---	TG
---	TOP OF GRATE ELEVATION
---	TW
---	TOP OF WALL ELEVATION
---	RIM
---	MANHOLE RIM ELEVATION
---	INV
---	MANHOLE INVERT ELEVATION

BLOCK 119



BOUNDARY TIE DETAIL

**CTE INC** Construction Testing & Engineering, Inc.  
Inspection | Testing | Geotechnical | Environmental & Construction Engineering | Civil Engineering | Surveying  
1441 Montiel Road, Suite 115, Escondido, CA 92026 Phone: (760) 746 - 4855 Fax: (760) 746 - 9806

MCINERNEY + ASSOCIATES  
RIBA, ARB, AAD/PL  
INTER ASSOC AIA  
T: 619 994 7991  
E: pdmcinerney@mac.com

**SAN FERNANDO RESIDENCE**  
310 SAN FERNANDO STREET  
SAN DIEGO, CA 92106

Status: CDP APPLICATION  
Date: 7 DECEMBER 2024  
Sheet Title: EXISTING  
LAND SURVEY

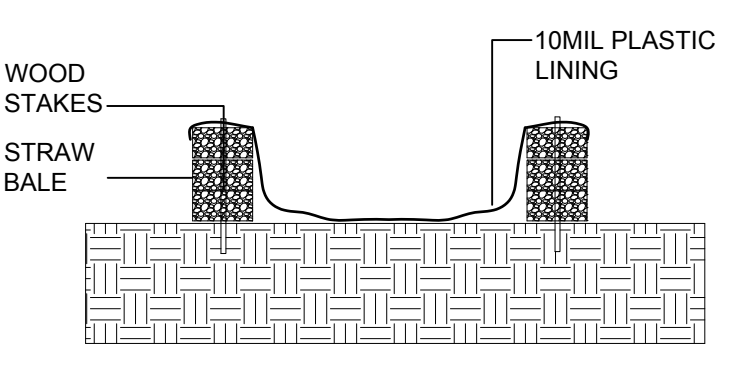
**SP**  
**1.0**



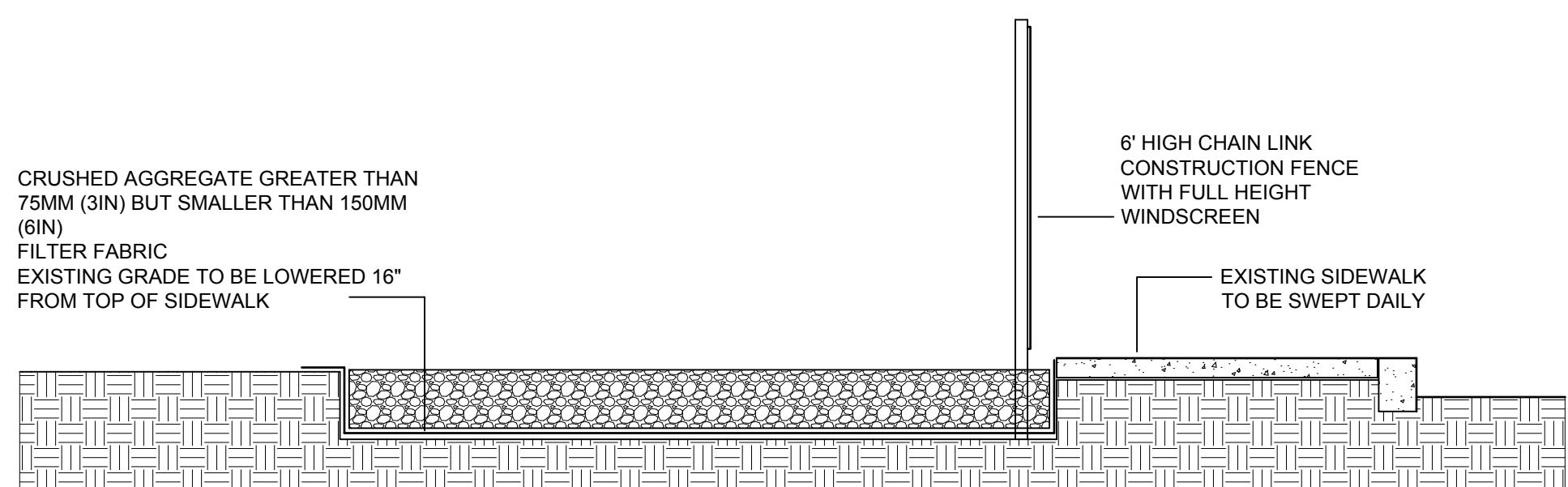
- SITE NOTES**
- HATCHED AREA INDICATES ENCLOSED SPACES
  - SURVEY AND TOPOGRAPHICAL INFORMATION BASED ON TOPOGRAPHICAL MAP PREPARED BY CHRISTENSEN ENGINEERING SURVEY
  - FRONT YARD SETBACK 15'-0"
  - SIDE YARD SETBACK (NORTH) 5'-2"
  - SIDE YARD SETBACK (SOUTH) 11'-2"
  - REAR YARD SETBACK 13'-0"

NOTE: ALL INCOMING POWER, GAS AND SEWERAGE REFERENCE: WATER SUPPLIES TO BE ISOLATED AT BASEMENT FOR ROAD AND PUBLIC UTILITY MAIN METER / ELEC PANEL  
 RECORDED 05/06/1957  
 BK 6564 PG 572 OR ITEM 11  
 97'-6 1/8"

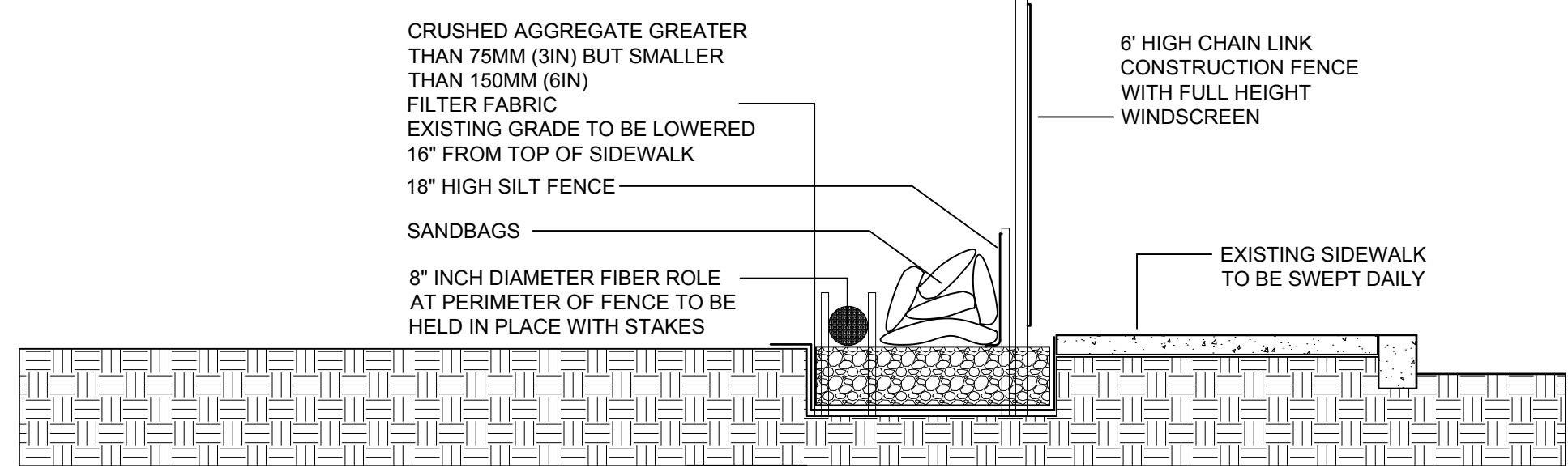
- CONSTRUCTION BMP NOTES:**
- SUFFICIENT BMPs MUST BE INSTALLED TO PREVENT SILT, MUD, OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEM DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMPs WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET.
  - ALL STOCKPILES OF SOIL AND / OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED AND PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR HIGHER.
  - A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE OR CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
  - THE CONTRACTOR SHALL RESTORE ALL EROSION / SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
  - ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
  - THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.
  - DURING THE ENTIRE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL ENSURE THE SITE IS PROTECTED WITH A PERIMETER FENCE TO REMAIN LOCKED WHILE THE SITE IS CLOSED.



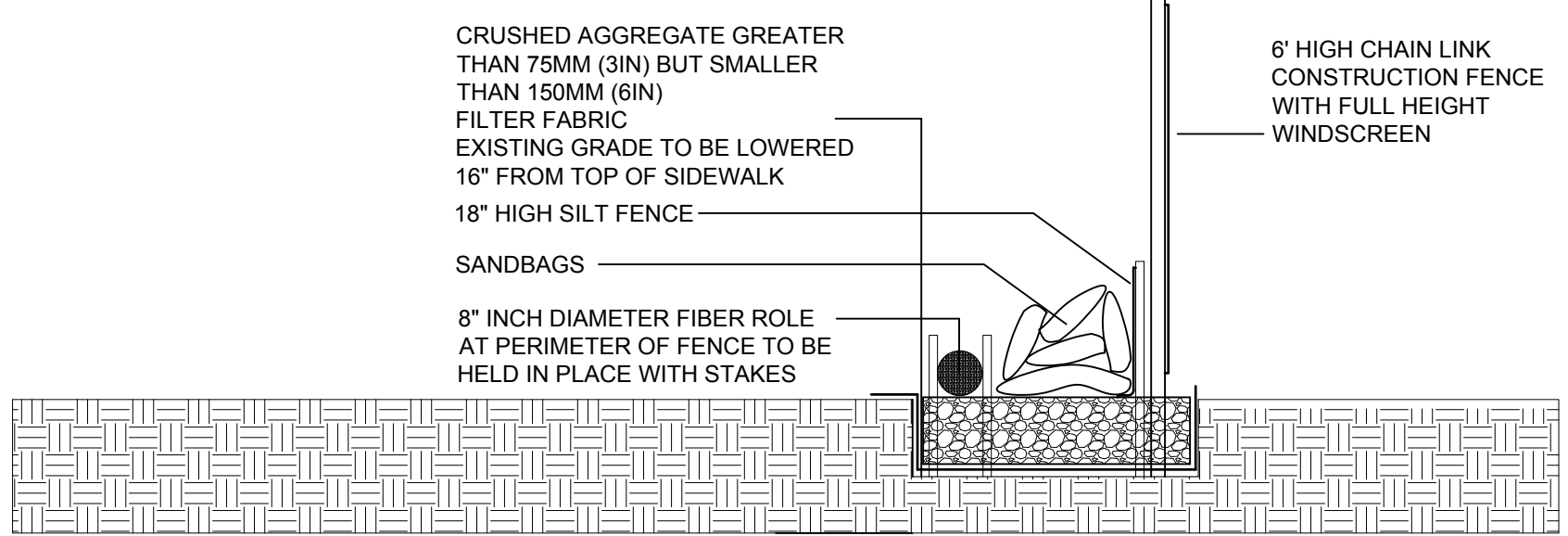
CONCRETE WASTE MANAGEMENT (NOT TO SCALE)



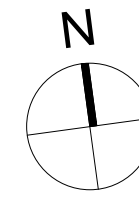
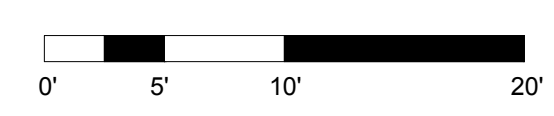
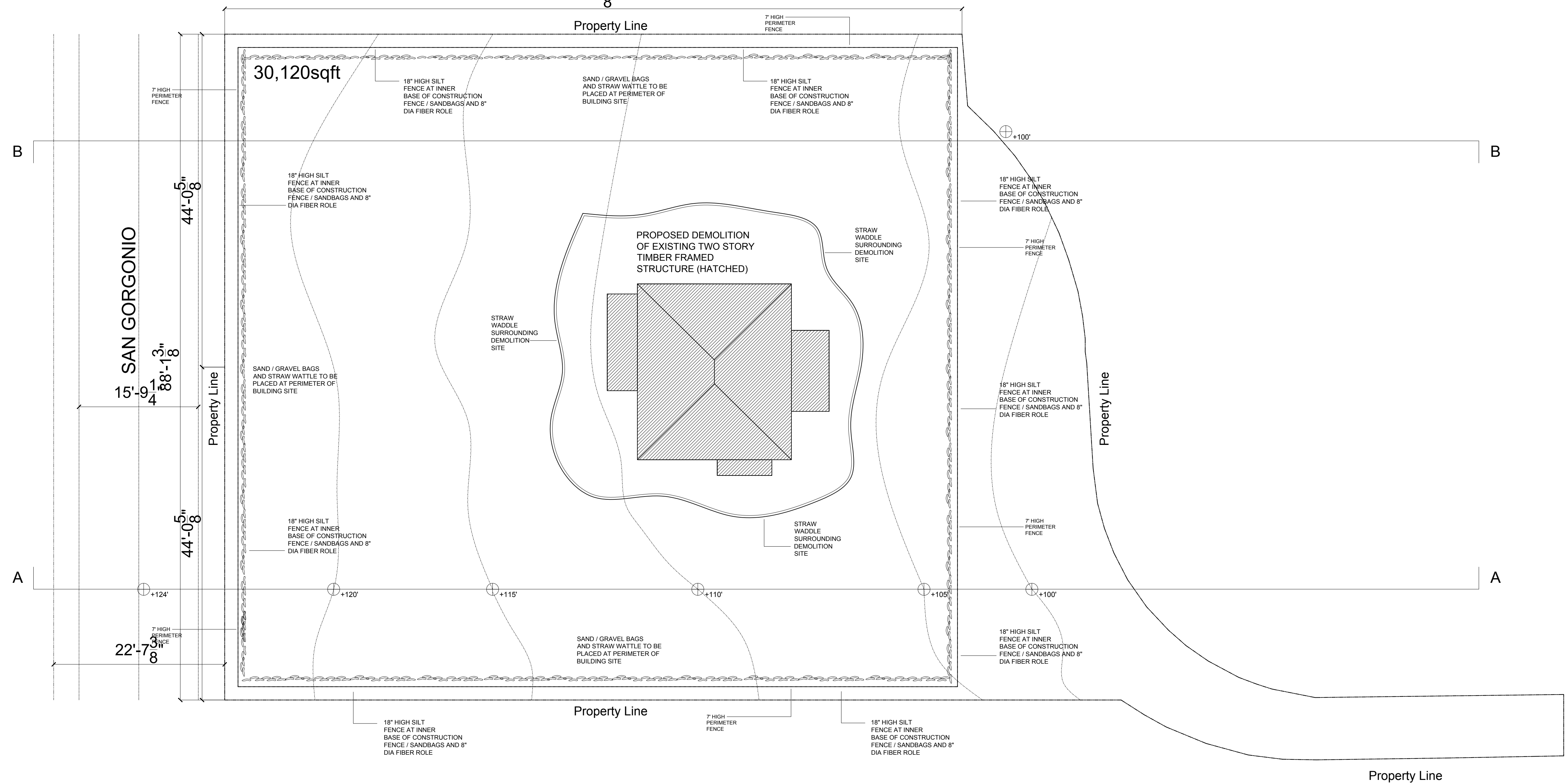
TYPICAL CROSS SECTION A STABILIZED CONSTRUCTION ENTRANCE /EXIT (NOT TO SCALE)



TYPICAL CROSS SECTION B STABILIZED CONSTRUCTION PERIMETER (NOT TO SCALE)



TYPICAL CROSS SECTION C STABILIZED CONSTRUCTION PERIMETER (NOT TO SCALE)



Proposed BMP Site Plan

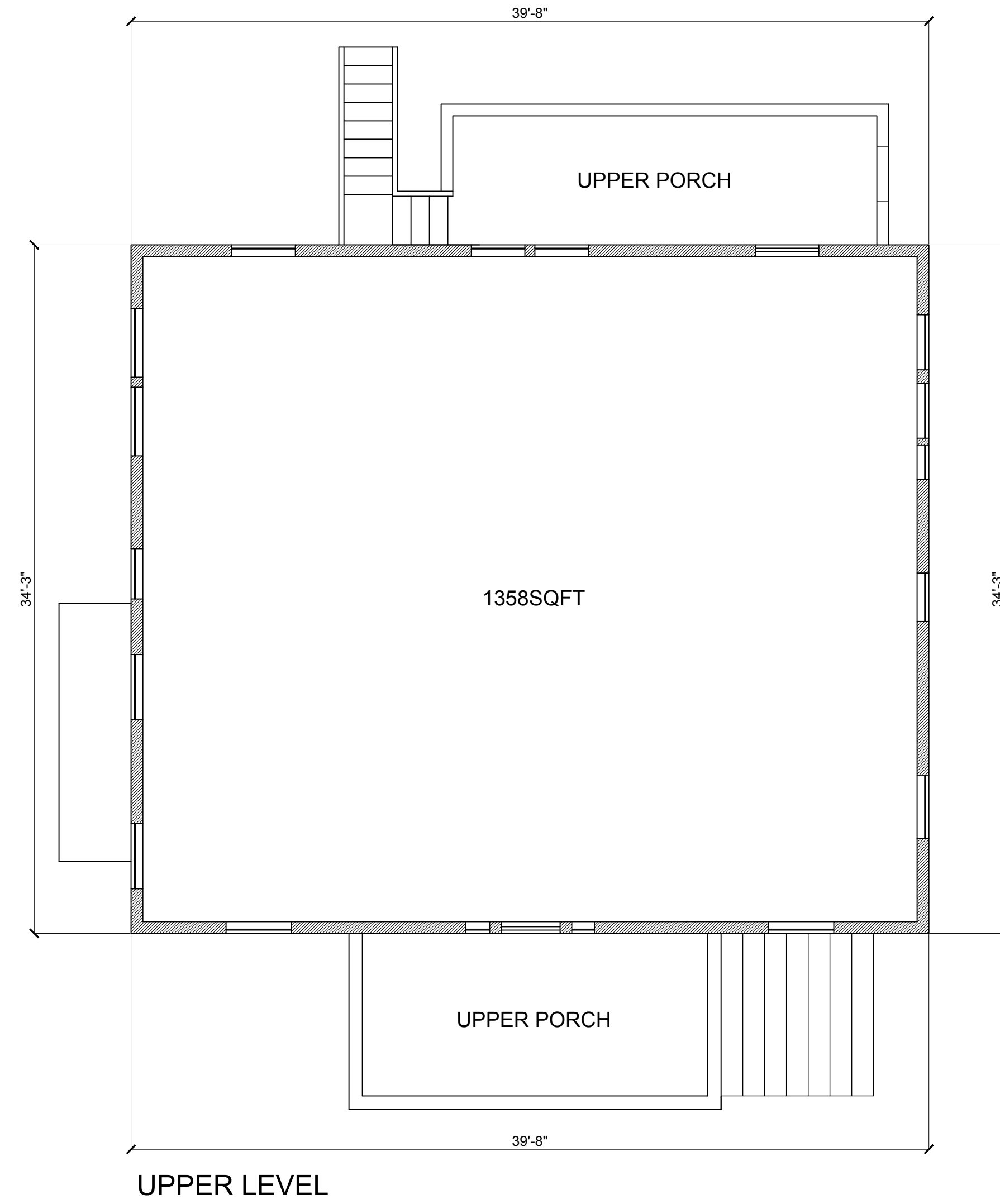
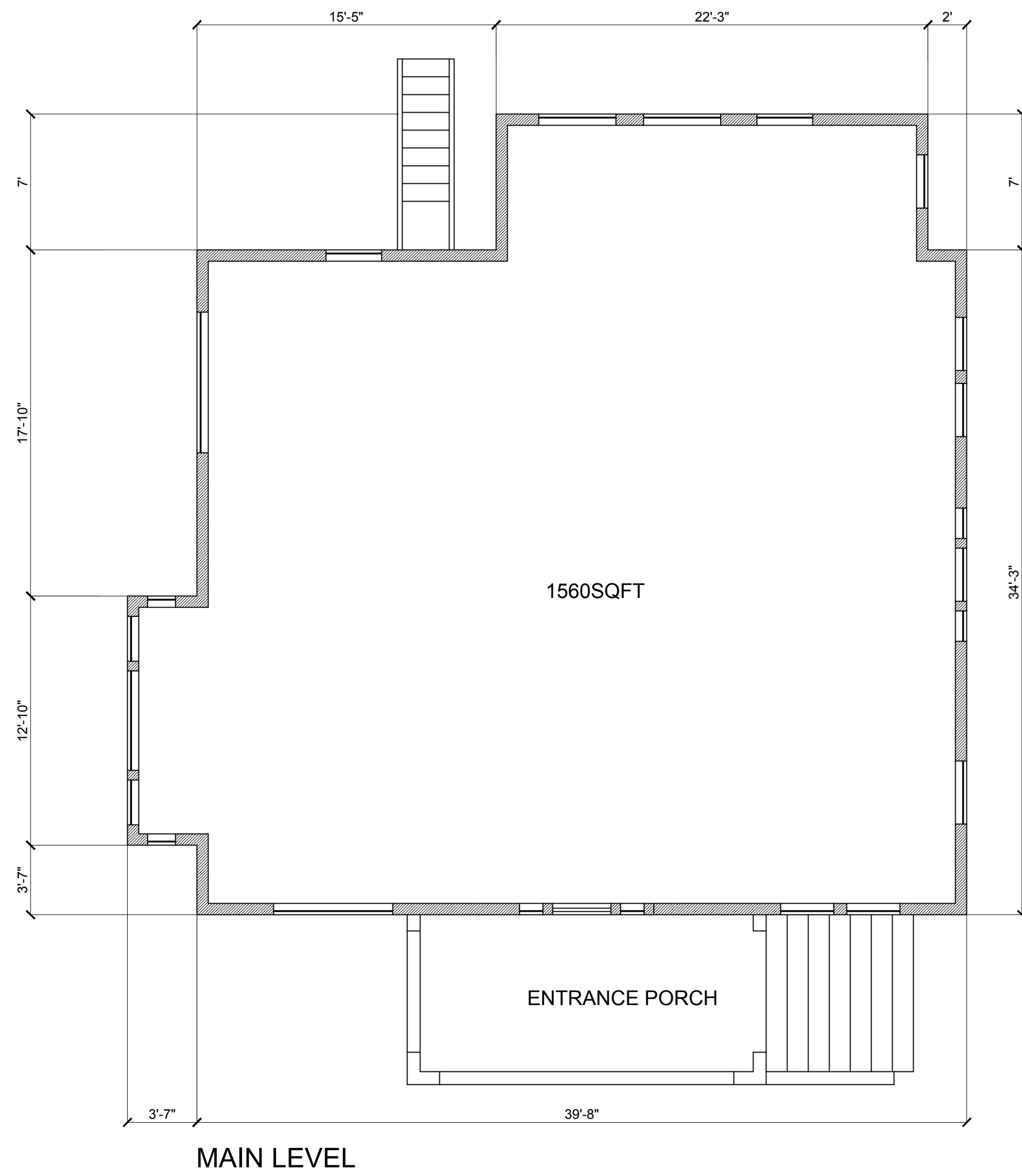
1" = 1'-0"

MCINERNEY + ASSOCIATES  
 RIBA, ARB, AAD/PL  
 INTER ASSOC AIA  
 T: 619 994 7991  
 E: pdmcinerney@mac.com

**SAN FERNANDO RESIDENCE**  
 310 SAN FERNANDO  
 SAN DIEGO, CA 92106

Status: CDP APPLICATION  
 Date: 7 DECEMBER 2024  
 Sheet Title: PROPOSED BMP SITE PLAN

**SP**  
**1.2**



REVISIONS:

MCINERNEY + ASSOCIATES  
 RIBA, ARB, AADIPL  
 INTER ASSOC AIA  
 T: 619 994 7991  
 E: pdmcinerney@mac.com

**SAN FERNANDO RESIDENCE**  
 310 SAN FERNANDO STREET  
 SAN DIEGO, CA 92106

Status: CDP APPLICATION

Date: 7 DECEMBER 2024

Sheet Title: EXISTING  
 FLOOR PLANS

**A**  
**1.0**

PROPOSED DEMOLITION  
OF EXISTING TWO STORY  
TIMBER FRAMED  
STRUCTURE



WEST ELEVATION

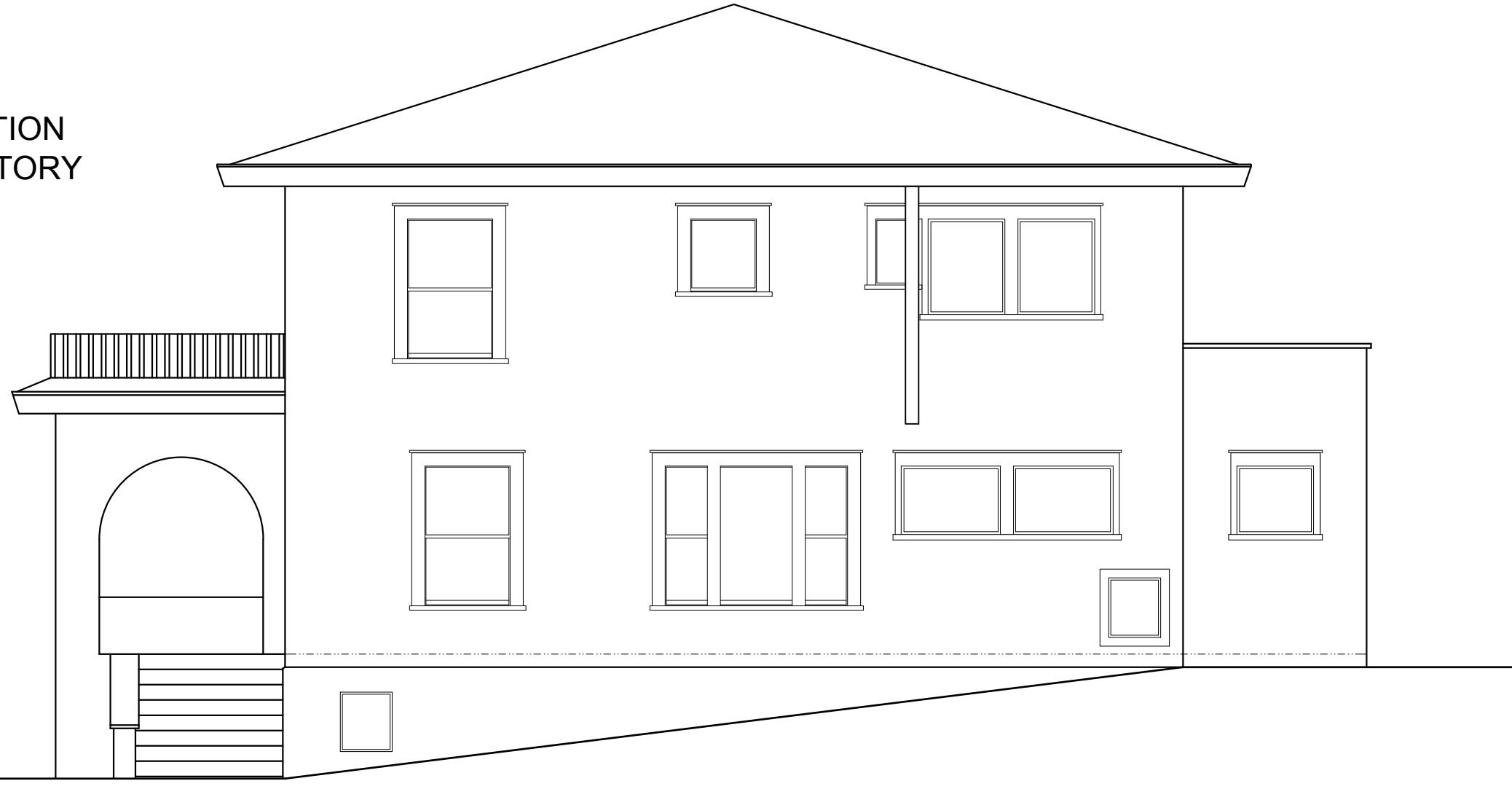


SOUTH ELEVATION

PROPOSED DEMOLITION  
OF EXISTING TWO STORY  
TIMBER FRAMED  
STRUCTURE



EAST ELEVATION



NORTH ELEVATION



FORM DS-560 October 2024 Stormwater Requirements Applicability Checklist

Project Address: 310 San Fernando, San Diego, California 92106 Project Number: Discretionary

SECTION 1: Construction Stormwater Best Management Practices (BMP) Requirements

All construction sites are required to implement construction BMPs per the performance standards in the Stormwater Standards Manual. Some sites are also required to obtain coverage under the State Construction General Permit (CGP), administered by the California State Water Resources Control Board.

For all projects, complete Part A - If the project is required to submit a Stormwater Pollution Prevention Plan (SWPPP) or Water Pollution Control Plan (WPCP), continue to Part B.

PART A - Determine Construction Phase Stormwater Requirements

- 1. Is the project subject to California's statewide General National Pollutant Discharge Elimination System (NPDES) permit for Stormwater Discharges Associated with Construction Activities... 2. Does the project propose construction or demolition activity... 3. Does the project propose routine maintenance... 4. Does the project only include the following Permit types listed below?

- Check one of the boxes below and continue to Part B. If you checked "Yes" for question 1, an SWPPP is REQUIRED - continue to Part B. If you checked "No" for question 1 and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to Part B. If you check "No" for all questions 1-3 and checked "Yes" for question 4, Part B does not apply, and no document is required. Continue to Section 2.

1 More information on the City's construction BMP requirements as well as CGP requirements can be found at www.sandiego.gov/stormwater/regulations/index.shtml

CLEAR FORM

Visit our web site: sandiego.gov/dsd. Upon request, this information is available in alternative formats for persons with disabilities. DS-560 (10-24)

PART B - Determine Construction Site Priority

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State CGP.

Complete Part B and continue to Section 2

- 1. ASBS. Projects located in the ASBS watershed. 2. High Priority. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and are not located in the ASBS watershed. 3. Medium Priority. Projects that are not located in an ASBS watershed or designated as a High-priority site. 4. Low Priority. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

Section 2: Construction Stormwater BMP Requirements

Additional information for determining the requirements is found in the Stormwater Standards Manual.

PART C - Determine if Not Subject to Permanent Stormwater Requirements

Projects that are considered maintenance or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Stormwater Standards Manual are not subject to Permanent Stormwater BMPs.

- If "yes" is checked for any number in Part C: Proceed to Part F and check "Not Subject to Permanent Stormwater BMP Requirements." If "no" is checked for all the numbers in Part C: Continue to Part D.

- 1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact stormwater? 2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? 3. Does the project fall under routine maintenance? Examples include but are not limited to roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay and pothole repair).

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PART D - PDP Exempt Requirements

PDP Exempt projects are required to implement site design and source control BMPs.

- If "yes" is checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt." If "no" is checked for all questions in Part D, continue to Part E.

- 1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that: Are designed and constructed to direct stormwater runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or: Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or: Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Stormwater Standards manual? 2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Stormwater Standards Manual?

PART E - Determine if the Project is a Priority Development Project (PDP)

Projects that match one of the definitions below are subject to additional requirements, including the preparation of a Stormwater Quality Management Plan (SQWMP).

- If "yes" is checked for any number in Part E, continue to Part F and check the box labeled "Priority Development Project." If "no" is checked for every number in Part E, continue to Part F and check the box labeled "Standard Development Project."

- 1. New development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. 2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. 3. New development or redevelopment of a restaurant. 4. New development or redevelopment on a hillside. 5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface collectively over the project site. 6. New development or redevelopment of streets, roads, highways, freeways, and driveways.

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- 7. New development or redevelopment discharging directly to an environmentally sensitive area. 8. New development or redevelopment projects of retail gasoline outlets (RGO) that create and/or replace 5,000 square feet of impervious surface. 9. New development or redevelopment projects of an automotive repair shop that creates and/or replaces 5,000 square feet or more of impervious surfaces. 10. Other Pollutant Generating Project. These projects are not covered in any of the categories above but involve the disturbance of one or more acres of land and are expected to generate post-construction phase pollutants, including fertilizers and pesticides.

PART F - Select the appropriate category based on the outcomes of Part C through Part E

- 1. The project is NOT SUBJECT TO PERMANENT STORMWATER REQUIREMENTS. 2. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Stormwater Standards Manual for guidance. 3. The Project is PDP EXEMPT. Site design and source control BMP requirements apply. Refer to the Stormwater Standards Manual for guidance. 4. The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control and structural pollutant control BMP requirements apply. Refer to the Stormwater Standards Manual for guidance on determining if the project requires hydromodification plan management.

Name of Owner or Agent: Patrick McInerney

Title: President

Signature: [Handwritten Signature]

Date: 7 December 2024

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Visit our web site: sandiego.gov/dsd. Upon request, this information is available in alternative formats for persons with disabilities. DS-560 (10-24)

MCINERNEY + ASSOCIATES RIBA, ARB, AAD/PL INTER ASSOC AIA T: 619 994 7991 E: pdmcinerney@mac.com

SAN FERNANDO RESIDENCE 310 SAN FERNANDO STREET SAN DIEGO, CA 92106

Status: CDP APPLICATION

Date: 7 DECEMBER 2024

Sheet Title: DS-560

A 1.3

**Source Control BMP Checklist  
for Standard Projects** Form I-4A

All development projects must implement source control BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist.  
**Note: All selected BMPs must be shown on the construction plans.**

Source Control Requirement	Applied <sup>(1)</sup> ?		
4.2.1 Prevention of Illicit Discharges into the MS4	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4.2.2 Storm Drain Stenciling or Signage	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4.2.3 Protect Outdoor Materials Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.2.4 Protect Materials Stored in Outdoor Work Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.2.5 Protect Trash Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.2.6 BMPs based on Potential Sources of Runoff Pollutants			
On-site storm drain inlets	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Interior floor drains and elevator shaft sump pumps	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Interior parking garages	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Need for future indoor & structural pest control	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Landscape/Outdoor Pesticide Use	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Pools, spas, ponds, decorative fountains, and other water features	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Food service	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Refuse areas	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Industrial processes	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Outdoor storage of equipment or materials	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Vehicle/Equipment Repair and Maintenance	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Fuel Dispensing Areas	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Loading Docks	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Fire Sprinkler Test Water	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Miscellaneous Drain or Wash Water	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Plazas, sidewalks, and parking lots	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
SC-6A: Large Trash Generating Facilities	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
SC-6B: Animal Facilities	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
SC-6C: Plant Nurseries and Garden Centers	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
SC-6D: Automotive Facilities	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A

Discussion / justification for all "No" answers shown above:

**Site Design BMP Checklist  
for Standard Projects** Form I-5A

All development projects must implement site design BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist.  
**Note: All selected BMPs must be shown on the construction plans.**

Site Design Requirement	Applied <sup>(1)</sup> ?		
4.3.1 Maintain Natural Drainage Pathways and Hydrologic Features	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.2 Conserve Natural Areas, Soils, and Vegetation	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4.3.3 Minimize Impervious Area	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4.3.4 Minimize Soil Compaction	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4.3.5 Impervious Area Dispersion	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4.3.6 Runoff Collection	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4.3.7 Landscaping with Native or Drought Tolerant Species	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4.3.8 Harvest and Use Precipitation	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A

Discussion / justification for all "No" answers shown above:

<sup>(1)</sup> Answer for each source control and site design category shall be pursuant to the following:

- "Yes" means the project will implement the BMP as described in Chapter 4 and/or Appendix E of the BMP Design Manual. Discussion / justification is not required.
- "No" means the BMP is applicable to the project but it is not feasible to implement. Discussion / justification must be provided.
- "N/A" means the BMP is not applicable at the project site because the project does not include the feature that is addressed by the BMP (e.g., the project has no outdoor materials storage areas). Discussion / justification may be provided.

REVISIONS:	△

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Status: CDP APPLICATION  
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