

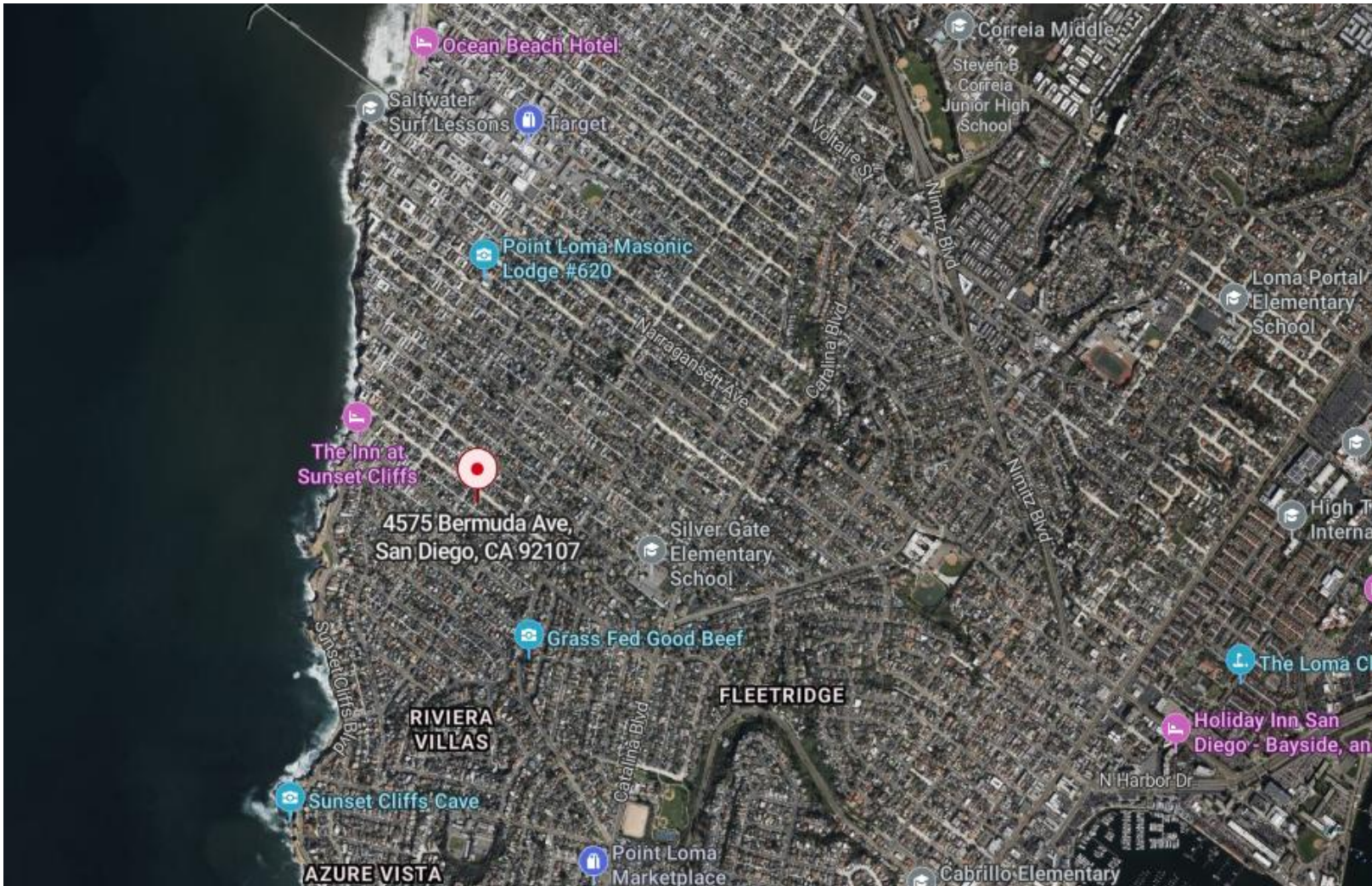


BERMUDA BEACH HOMES

4575 BERMUDA AVE

SCOPE OF WORK

- We are proposing to demolish the existing homes and structures and construct three new single-family homes on the existing three lots each with ADU's at 4575 Bermuda Ave.
- The proposed new homes are both approximately 2625 sqft with 4 bedrooms 5 bathrooms each.
- Each home/lot will include a 435 sqft one-bedroom ADU unit above the garage with full kitchen and in suite laundry.
- Each home will have a garage providing two onsite parking spots.
- The third coastal review with City of San Diego has been completed and appears to be compliant with general plan and all municipal codes.



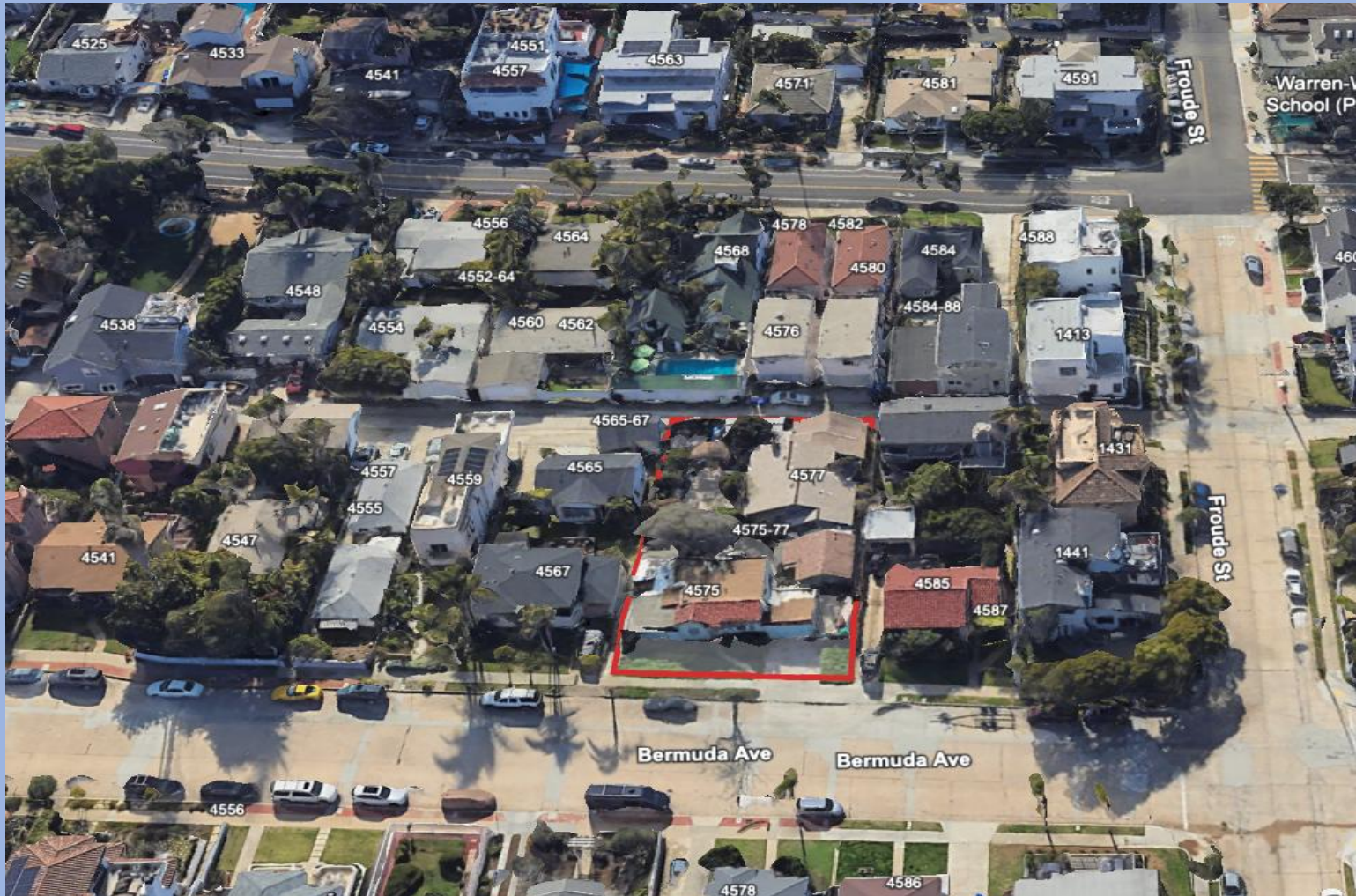
Site Location

Located on Bermuda Ave between Froude St and Guizot St.

Two blocks East of Sunset Cliffs Blvd.

And One block North of Point Loma Ave

This project is surrounded by Transit with the closest bus stop only a few blocks away.



Site Aerial View

Located on Bermuda Ave
between Froude St. and Guizot
St.

Existing homes sit on three
existing lots.

BERMUDA AVE VIEW (FRONT)



**STORM WATER QUALITY NOTES-
CONSTRUCTION BMP'S**

THE PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SDWQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO AND DEVELOPER CODE, AND THE STORM WATER STANDARDS MANUAL.

PROVIDE TO ANY SOIL DISTURBANCE, EROSIONARY SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW.

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL, MAY BE INCORPORATED INTO THE PERMITS AND CONSTRUCTION OF THE PROPOSED WORKING / APPROVEDS IN CONJUNCTION WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WP) FOR CONSTRUCTION LEVEL BMP'S AND IF APPLICABLE, EROSION CONTROL MEASURES, QUALITY MANAGEMENT PLAN (QMP) FOR CONSTRUCTION BMP'S.

2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN ALLEY PROTECTION ALLEY PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE INSTALLED, REPAIRED PRIOR TO A RAIN EVENT, AND MUST BE MAINTAINED THROUGHOUT CONSTRUCTION PERMITS AND DISCHARGE.

3. ALL CONSTRUCTION BMP'S SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.

4. THE CONTRACTOR SHALL ONLY GRADE INCLUDING CLEARING AND GRADING AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.

5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SWPPP CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMP'S AND PREPARED TO MAINTAIN THEM. FAILURE TO COMPLY WITH THE APPROVED SWPPP MAY RESULT IN THE ISSUANCE OF CORRECTIVE ACTIONS, CIVIL OR CRIMINAL PENALTIES AND/OR STOP WORK NOTICES.

6. THE CONTRACTOR OR QUALIFIED CONTRACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND OIL ON AFFECTED AND ADJACENT STREETS AND WITHIN STORM DRAIN SYSTEMS DUE TO CONSTRUCTION UNDESIRABLE DEBRIS AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.

7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONTROL SYSTEMS FROM SEPARATION, DAMAGE, RUPTURE OR OTHER CONSTRUCTION RELATED DEBRIS AND OIL. ALL CONSTRUCTION SHALL BE INSTALLED AND MAINTAINED TO PROTECT EXISTING STORM WATER CONTROL SYSTEMS AND NOT DISRUPTED BY THE CONTRACTOR.

8. THE CONTRACTOR OR QUALIFIED CONTRACT PERSON SHALL CLEAR DEBRIS, SILT AND OIL FROM ALL DRAINAGE AND SWALES PRIOR TO ANY CONSTRUCTION ACTIVITY AND SHALL BE RESPONSIBLE TO THE BEST PRACTICES AVAILABLE TO THE CONTRACTOR.

9. IF A NON-STORM WATER DISCHARGE OCCURS AT THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE. ALL DISCHARGES OF CONSTRUCTION ACTIVITY, ANY AND ALL WATER MATERIALS, DEBRIS AND OILS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONDUIT SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.

10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED AWAY FROM CONDUIT LOCATIONS TO FACILITATE THE REMOVAL OF CONSTRUCTION BMP'S PER PLAN 5.

11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO WORKING ORDER THROUGHOUT CONSTRUCTION.

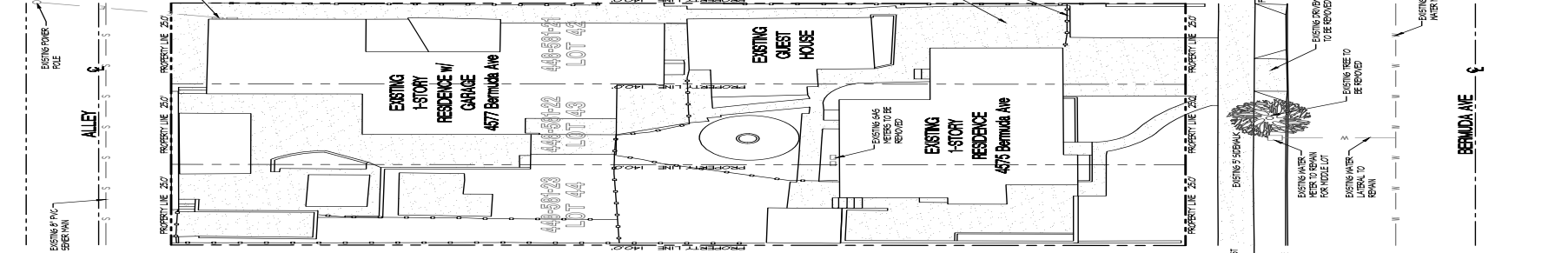
12. SPECIAL CONTROL MEASURES DUE TO IMPROPER CONDUIT LOCATIONS TO PREVENT NON-STORM WATER AND SEDIMENT-LOADED DISCHARGES.

13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY MEASURES TO PREVENT EROSION, SEDIMENT AND OIL AREAS WHERE PROVIDED IN THESE NOTES AND DEVELOPER CODE.

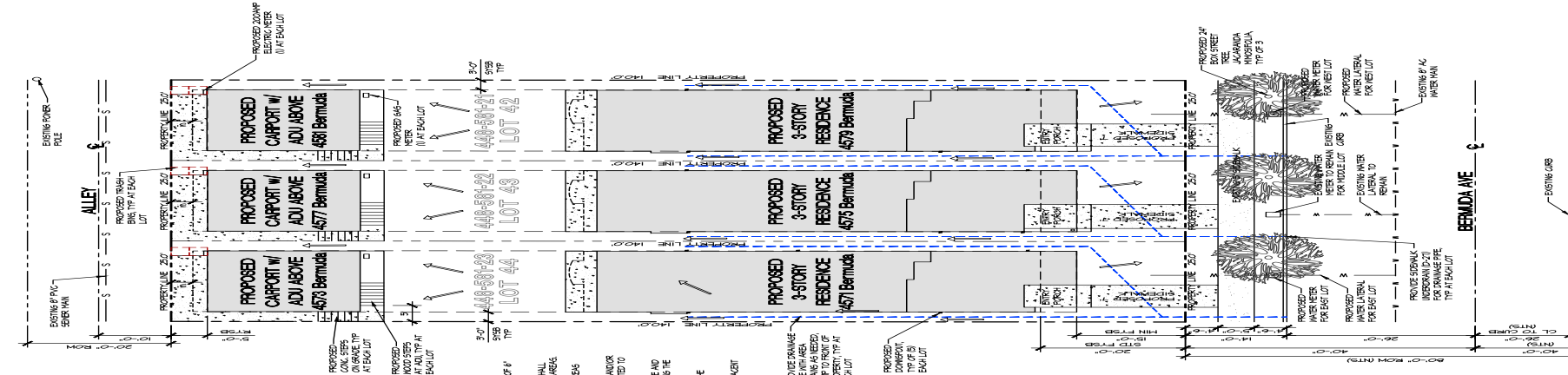
14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED FOR CONSTRUCTION SHALL BE MAINTAINED AND MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT CONSTRUCTION. SPECIAL CONTROL MEASURES DUE TO IMPROPER CONDUIT LOCATIONS TO PREVENT NON-STORM WATER AND SEDIMENT-LOADED DISCHARGES.

15. AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL CONDUCT VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP'S AS REQUIRED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP'S SHALL BE CONDUCTED BY THE CONTRACTOR AND MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMP'S AS SOON AS POSSIBLE TO PREVENT FAILURES.

16. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CALIFORNIA REG. SHEET 10-100 (CALIFORNIA REG. SHEET 10-100) TO PREVENT TRACKING OF SEDIMENT AND OILS FROM CONSTRUCTION SITES. ALL TRACKING SPRINKLES AND TRACKER MATS MUST BE IN PLACE AT ALL TIMES AND MAINTAINED NEARBY TO ACCOMMODATE TRUCKS AND EQUIPMENT WITHOUT BREAKING THE ENTRANCE IN NON-STORM WATER DISCHARGE SHALL BE EFFECTUALLY MAINTAINED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 1, ARTICLE 5, DIVISION 3 STORM WATER MANAGEMENT AND DISCHARGE CONTROL.



EXISTING SITE PLAN
SCALE: 1" = 10'-0"



- SITE NOTES**
1. SPRAZE AFTER ALL SOIL FROM THE BUILDING THE GRAVE SHALL FALL A MINIMUM OF 5' WITHIN THE FIRST 10' FROM BUILDING
 2. WATER CATCHER AND PROPOSED CONCRETE SHALL BE INSTALLED IN ALL AREAS
 3. ALL EXISTING AND PROPOSED LANDSCAPE AREAS SHALL BE MAINTAINED
 4. ALL STORM WATER RUNOFF FROM PROPOSED AND/OR EXISTING AREAS SHALL BE ROUTED TO PROPOSED SPRAWLS OR LANDSCAPING
 5. PROVIDE BUILDING ACCESS AREAS, WALKS AND LEISURE FROM THE STREET OR BACK OF THE PROPERTY PER THE SOULY POOL.
 6. THERE ARE TO BE REMOVED LOCATED WITHIN THE SUBJECT PROPERTY.

EXISTING AND PROPOSED SITE PLANS

Bermuda Beach Homes
4575 Bermuda Ave
San Diego, CA 92107

PLANS PREPARED BY
STEPHANIE LUTKON
ARCHITECT
1000 LA JOLLA VILLAGE
ROAD, SUITE 100
SAN DIEGO, CA 92161

| DATE | REVISIONS |
|----------|----------------------|
| 1/24/24 | PROJECT START |
| 2/27/24 | DESIGN REVIEW |
| 3/27/24 | DESIGN REVIEW |
| 4/24/24 | CONSTRUCTION PERMITS |
| 5/24/24 | PERMITS |
| 6/24/24 | CONSTRUCTION |
| 7/24/24 | CONSTRUCTION |
| 8/24/24 | CONSTRUCTION |
| 9/24/24 | CONSTRUCTION |
| 10/24/24 | CONSTRUCTION |
| 11/24/24 | CONSTRUCTION |
| 12/24/24 | CONSTRUCTION |

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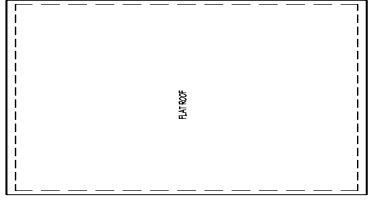
| | |
|----------|--|
| DATE | REVISIONS |
| 08/20/22 | 1. PREPARED BY: STEPHEN LUTON |
| 08/20/22 | 2. CHECKED BY: STEPHEN LUTON |
| 08/20/22 | 3. APPROVED BY: STEPHEN LUTON |
| 08/20/22 | 4. PERMITTED BY: STEPHEN LUTON |
| 08/20/22 | 5. REVISIONS: NONE |
| 08/20/22 | 6. COMMENTS: NONE |
| 08/20/22 | 7. SCALE: 1/4" = 1'-0" |
| 08/20/22 | 8. SHEET: 1 OF 1 |
| 08/20/22 | 9. PROJECT: ADU |
| 08/20/22 | 10. ADDRESS: 4375 BERMUDA AVE, SAN DIEGO, CA 92107 |

PLANS PREPARED BY:
Stephene Luton
 1000 N. LA JOLLA VILLAGE
 SAN MARINO, CA 91764
 951.451.1111
 www.stephenluton.com
 4375 BERMUDA AVE
 SAN DIEGO, CA 92107

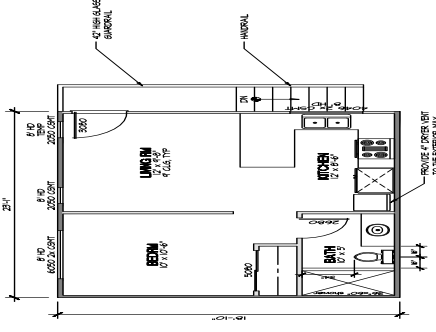
Bermuda Beach Homes
4375 Bermuda Ave
San Diego, CA 92107

ADU PLANS

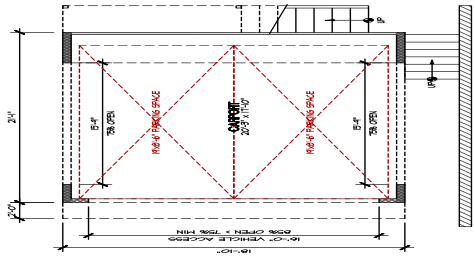
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ADU ROOF PLAN
 SCALE: 1/4" = 1'-0"

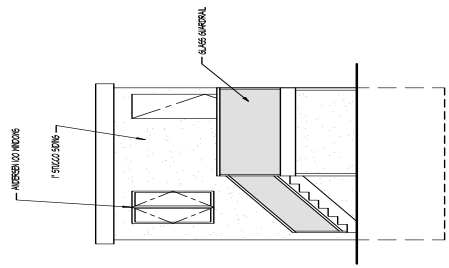


ADU FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 65.55 FT.

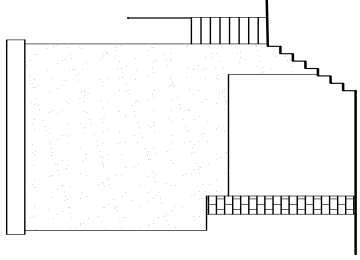


CARPORT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

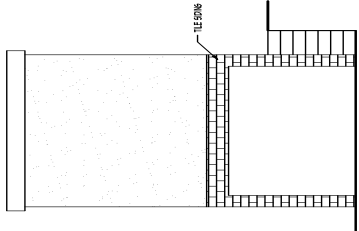
- WALL LEGEND
- 1/4" X 4" X 8" PERIMETER WALL
- 1/4" X 4" X 8" PERIMETER WALL
- 1/4" X 4" X 8" PERIMETER WALL
- 1/4" X 4" X 8" PERIMETER WALL



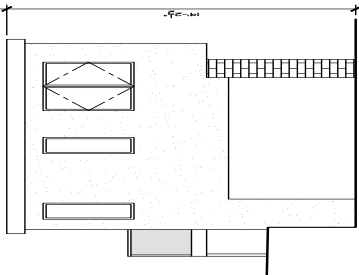
NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



EAST ELEVATION
 SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



WEST ELEVATION
 SCALE: 1/4" = 1'-0"

CLOSING NOTES

- Photovoltaic will be used on this project we expect to provide at least 50% of the energy demands
- Water flow tracking to conserve water usage.
- No loss in available on-site parking.
- Transit friendly location.
- Not build for the purpose of Vacation Rental.
- Inviting front yards consistent with the general plan.

