

LEGAL DESCRIPTION
 BEING A CONSOLIDATION OF A PORTION OF PUEBLO LOT 177 OF PUEBLO LANDS OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NY JAMES PASCOE IN 1870, A COPY OF WHICH SAID MAP WAS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 14, 1921, AND IS KNOWN AS MISCELLANEOUS MAP NO. 36, DESCRIBED AS FOLLOWS:

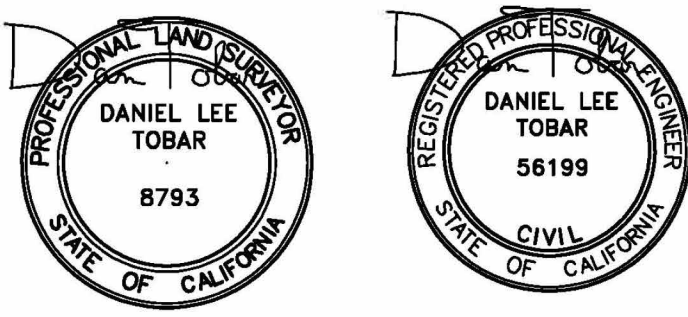
BEGINNING AT THE MOST WESTERLY CORNER OF SAID PUEBLO LOT 177; THENCE NORTH 12° 44' 00" EAST ALONG THE WESTERLY LINE THEREOF 200.00 FEET TO THE MOST NORTHERLY CORNER OF LAND DESCRIBED IN DEED TO JERRY ROBERTSON, RECORDED SEPTEMBER 16, 1957 IN BOOK 8748, PAGE 122 AS DOCUMENT NO. 1957-140676 OF OFFICIAL RECORDS; AND THE TRUE POINT OF BEGINNING, THENCE SOUTH 77° 13' 20" EAST ALONG THE NORTHERLY LINE THEREOF 135.00 FEET TO THE MOST EASTERLY CORNER OF SAID LAND; THENCE NORTH 15° 35' 45" EAST 100.12 FEET TO A POINT ON THE SOUTHERLY LINE OF LOT 28 YACHT CLUB TERRACE; ACCORDING TO MAP NO. 2224, SAID POINT BEING NORTH 77° 13' 20" WEST 10 FEET FROM THE MOST SOUTHERLY CORNER OF SAID LOT; THENCE NORTH 77° 13' 20" WEST ALONG SAID SOUTHERLY LINE OF LOT 28 AND ALONG THE WESTERLY EXTENSION THEREOF, 140 FEET TO THE NORTHWESTERLY LINE OF SAID PUEBLO LOT 177; THENCE SOUTH 12° 44' WEST ALONG SAID NORTHWESTERLY LINE 100 FEET TO THE POINT OF BEGINNING.

TOTAL AREA: 13,750 SF / 0.32 ACRES
 TOTAL NUMBER OF PARCELS: 1

EASEMENTS
 NO. 1 A PRIVATE EASEMENT FOR INGRESS AND EGRESS OVER A 30 FOOT WIDE STRIP OF LAND, ACCESSING THE PUBLIC R/W OF SAN ANTONIO PLACE, PER BOOK 808, PAGE 409, FILED AUG 29, 1938. SEE ALSO COUNTY OF SAN DIEGO SUPERIOR COURT CASE JUDGEMENTS WHICH MODIFY SAID EASEMENT, PER DOC NO. 2007-0339835, FILED MAY 18, 2007 AND DOC NO. 2010-0561931, FILED OCT 19, 2010.
 NO. 2 AN EASEMENT AND RIGHT OF WAY FOR A PRIVATE WALKWAY OVER A 5 FT STRIP OF LAND
 NO. 3 A 20' WIDE STRIP EASEMENT AND RIGHT OF WAY FOR ROAD PURPOSES
 NO. 4 A 6 FT WIDE EASEMENT AND RIGHT OF WAY FOR SEWER
 NO. 5 AN EASEMENT AND RIGHT OF WAY FOR A PRIVATE WALKWAY AND PUBLIC UTILITIES OVER A 5 FT STRIP OF LAND.

BASIS OF BEARINGS
 THE BASIS OF BEARING FOR THIS SURVEY IS THE WESTERLY RIGHT OF WAY LINE OF ROSECRANS STREET AS SHOWN PER MAP 3392, SPECIFICALLY, PT 'A' TO PT 'B' 186.97', N12°44'00"W.

ELEVATION BENCHMARK
 CITY OF SAN DIEGO BRASS PLUG IN TOP OF CURB AT THE NW CORNER OF ROSECRANS STREET AND KONA WAY ELEV= 52.548



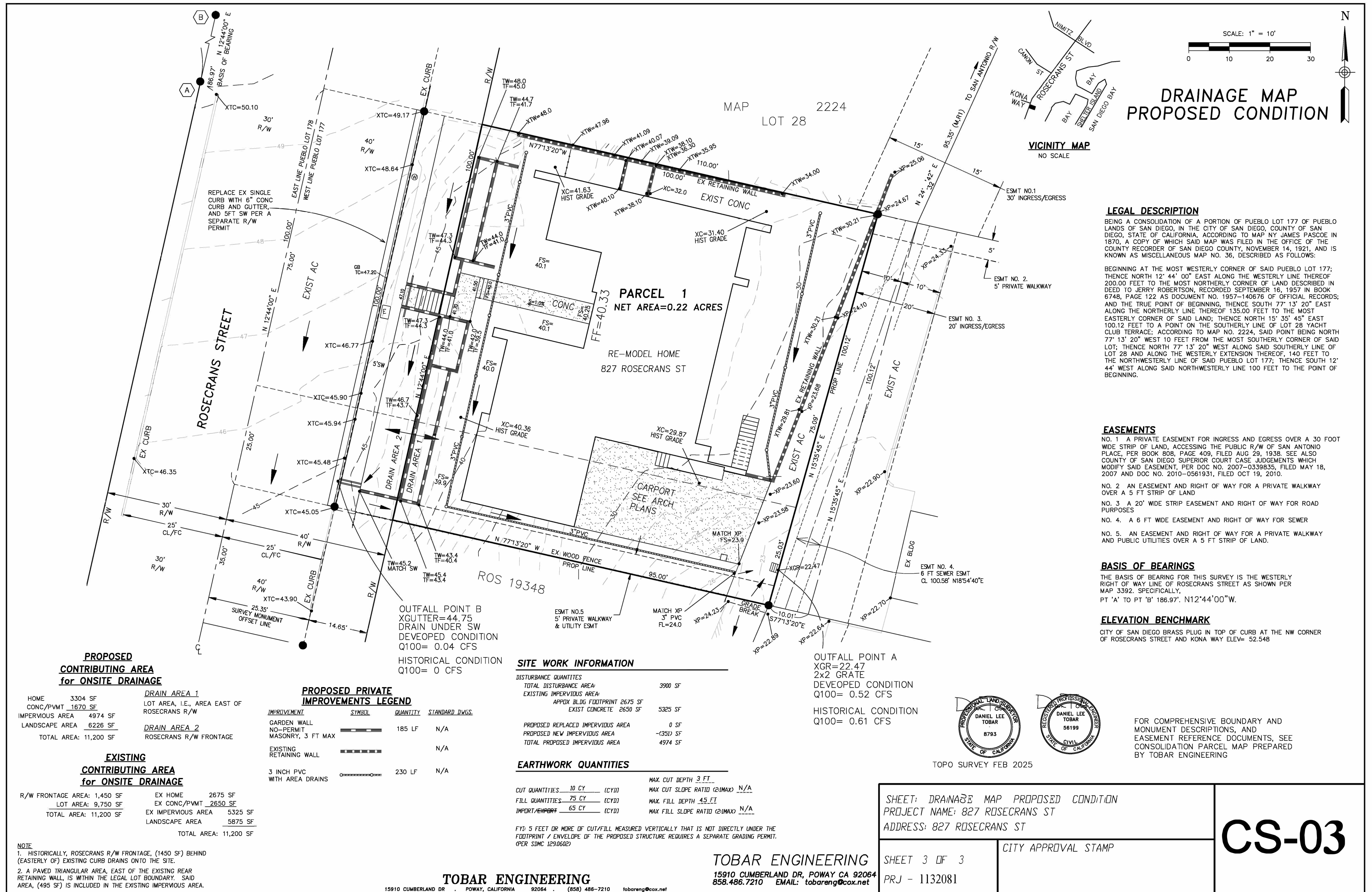
TOPO SURVEY FEB 2025

FOR COMPREHENSIVE BOUNDARY AND MONUMENT DESCRIPTIONS, AND EASEMENT REFERENCE DOCUMENTS, SEE CONSOLIDATION PARCEL MAP PREPARED BY TOBAR ENGINEERING

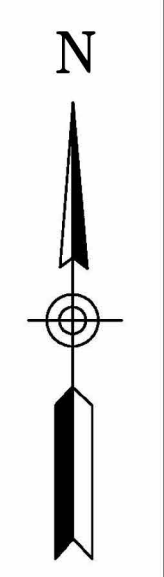
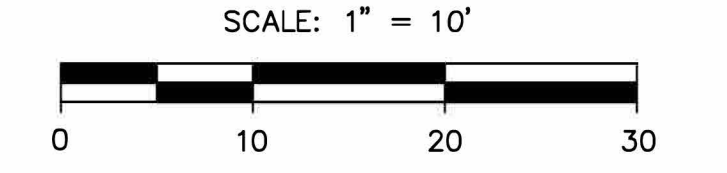
SHEET: BOUNDARY AND EXISTING TOPO SHEET
 PROJECT NAME: 827 ROSECRANS ST
 ADDRESS: 827 ROSECRANS ST

CS-01

SHEET 1 OF 3
 PRJ - 1132081
 CITY APPROVAL STAMP



DRAINAGE MAP PROPOSED CONDITION



VICINITY MAP
NO SCALE

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PROPOSED CONTRIBUTING AREA for ONSITE DRAINAGE

HOME	3304 SF	DRAIN AREA 1	LOT AREA, I.E., AREA EAST OF ROSECRANS R/W
CONC/PVMT	1670 SF	DRAIN AREA 2	ROSECRANS R/W FRONTAGE
IMPERVIOUS AREA	4974 SF		
LANDSCAPE AREA	6226 SF		
TOTAL AREA:	11,200 SF		

EXISTING CONTRIBUTING AREA for ONSITE DRAINAGE

R/W FRONTAGE AREA:	1,450 SF	EX HOME	2675 SF
LOT AREA:	9,750 SF	EX CONC/PVMT	2650 SF
TOTAL AREA:	11,200 SF	EX IMPERVIOUS AREA	5325 SF
		LANDSCAPE AREA	5875 SF
		TOTAL AREA:	11,200 SF

PROPOSED PRIVATE IMPROVEMENTS LEGEND

IMPROVEMENT	SYMBOL	QUANTITY	STANDARD DWGS.
GARDEN WALL	---	185 LF	N/A
NO-PERMIT MASONRY, 3 FT MAX	---		N/A
EXISTING RETAINING WALL	---		N/A
3 INCH PVC WITH AREA DRAINS	---	230 LF	N/A

SITE WORK INFORMATION

DISTURBANCE QUANTITIES	
TOTAL DISTURBANCE AREA	3900 SF
EXISTING IMPERVIOUS AREA	
APPROX BLDG FOOTPRINT	2675 SF
EXIST CONCRETE	2650 SF
PROPOSED REPLACED IMPERVIOUS AREA	0 SF
PROPOSED NEW IMPERVIOUS AREA	(-351) SF
TOTAL PROPOSED IMPERVIOUS AREA	4974 SF

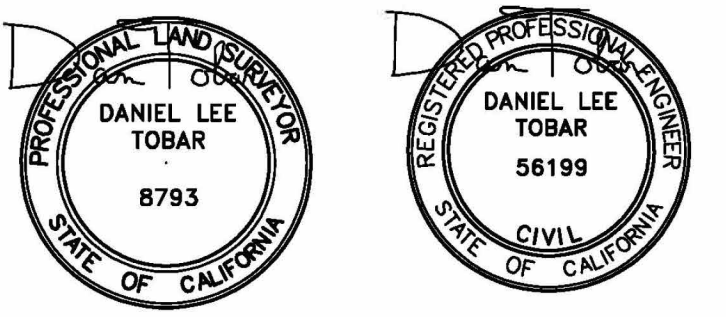
EARTHWORK QUANTITIES

CUT QUANTITIES	10 CY	(CY)	MAX CUT DEPTH 3 FT
FILL QUANTITIES	75 CY	(CY)	MAX CUT SLOPE RATIO (2:1)MAX N/A
IMPORT/EXPORT	65 CY	(CY)	MAX FILL DEPTH 4.5 FT
			MAX FILL SLOPE RATIO (2:1)MAX N/A

FD: 5 FEET OR MORE OF CUT/FILL MEASURED VERTICALLY THAT IS NOT DIRECTLY UNDER THE FOOTPRINT / ENVELOPE OF THE PROPOSED STRUCTURE REQUIRES A SEPARATE GRADING PERMIT. (PER SDMC 1290602)

OUTFALL POINT A
XGR=22.47
2x2 GRATE
DEVELOPED CONDITION
Q100= 0.52 CFS
HISTORICAL CONDITION
Q100= 0.61 CFS

OUTFALL POINT B
XGUTTER=44.75
DRAIN UNDER SW
DEVELOPED CONDITION
Q100= 0.04 CFS
HISTORICAL CONDITION
Q100= 0 CFS



TOPO SURVEY FEB 2025

FOR COMPREHENSIVE BOUNDARY AND MONUMENT DESCRIPTIONS, AND EASEMENT REFERENCE DOCUMENTS, SEE CONSOLIDATION PARCEL MAP PREPARED BY TOBAR ENGINEERING

NOTE
1. HISTORICALLY, ROSECRANS R/W FRONTAGE, (1450 SF) BEHIND (EASTERLY OF) EXISTING CURB DRAINS ONTO THE SITE.
2. A PAVED TRIANGULAR AREA, EAST OF THE EXISTING REAR RETAINING WALL, IS WITHIN THE LEGAL LOT BOUNDARY. SAID AREA, (495 SF) IS INCLUDED IN THE EXISTING IMPERVIOUS AREA.

TOBAR ENGINEERING
15910 CUMBERLAND DR. POWAY, CALIFORNIA 92064 (858) 486-7210 tobareng@cox.net

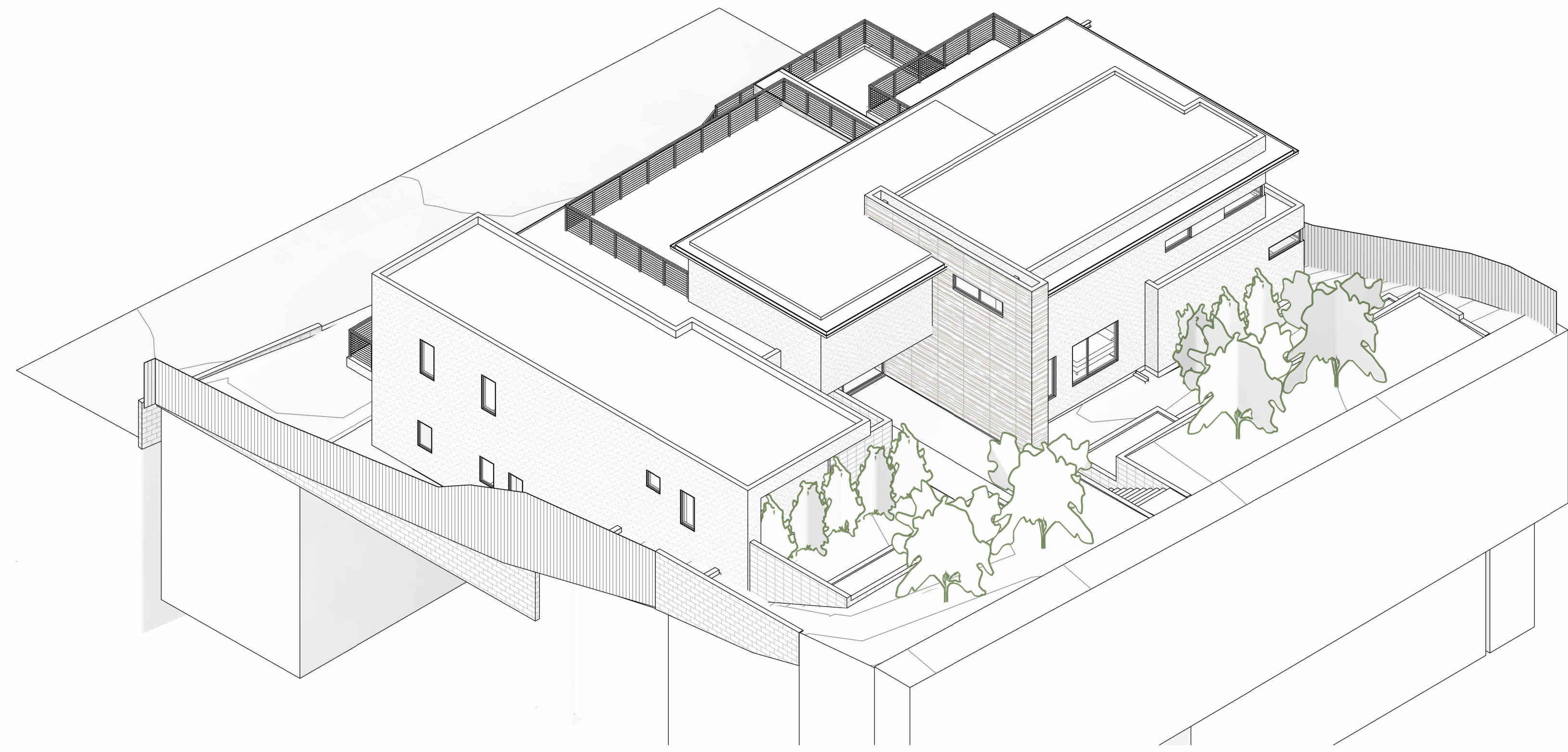
TOBAR ENGINEERING
15910 CUMBERLAND DR, POWAY CA 92064
858.486.7210 EMAIL: tobareng@cox.net

SHEET: DRAINAGE MAP PROPOSED CONDITION
PROJECT NAME: 827 ROSECRANS ST
ADDRESS: 827 ROSECRANS ST

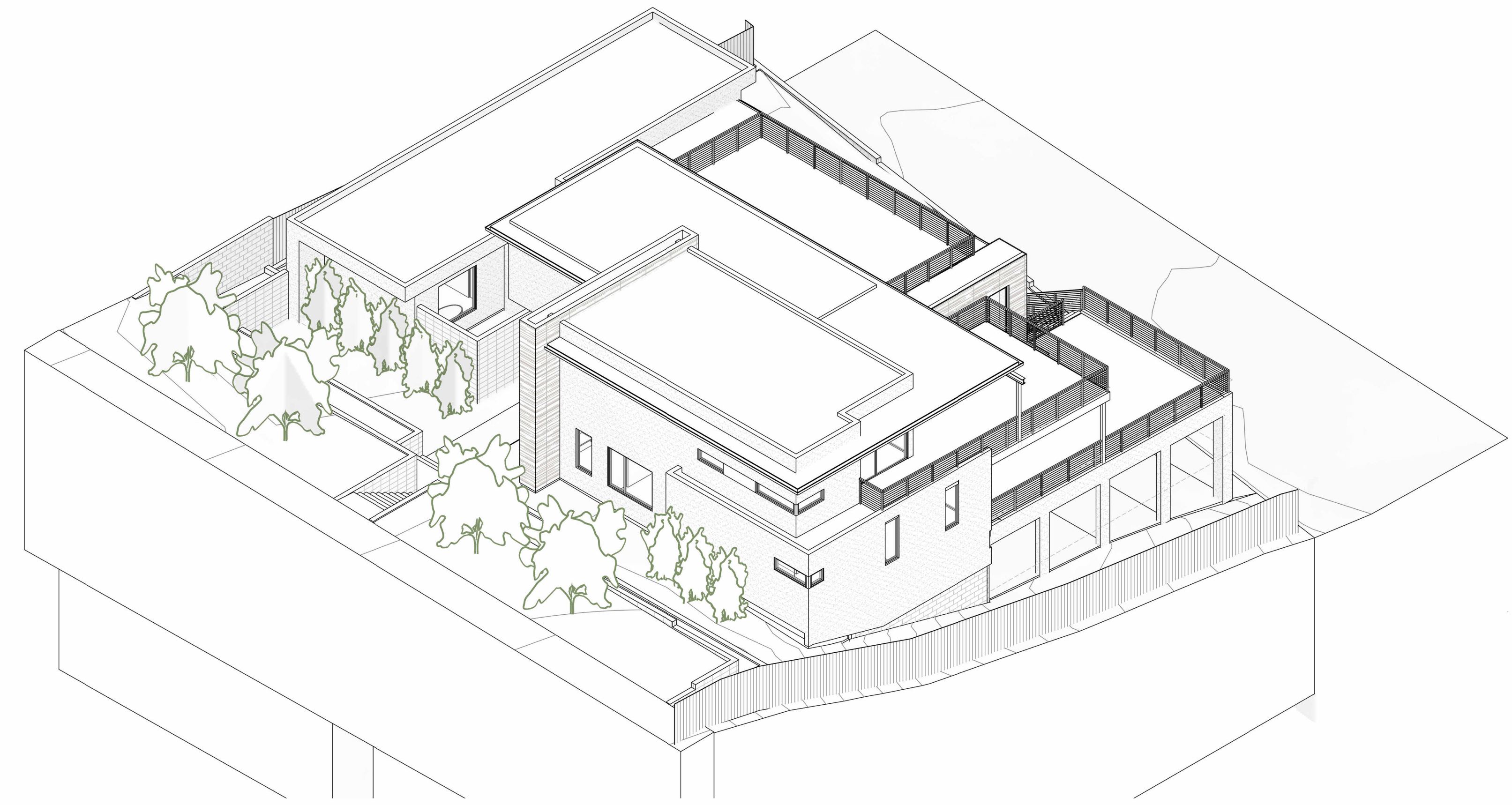
SHEET 3 OF 3
PRJ - 1132081

CITY APPROVAL STAMP

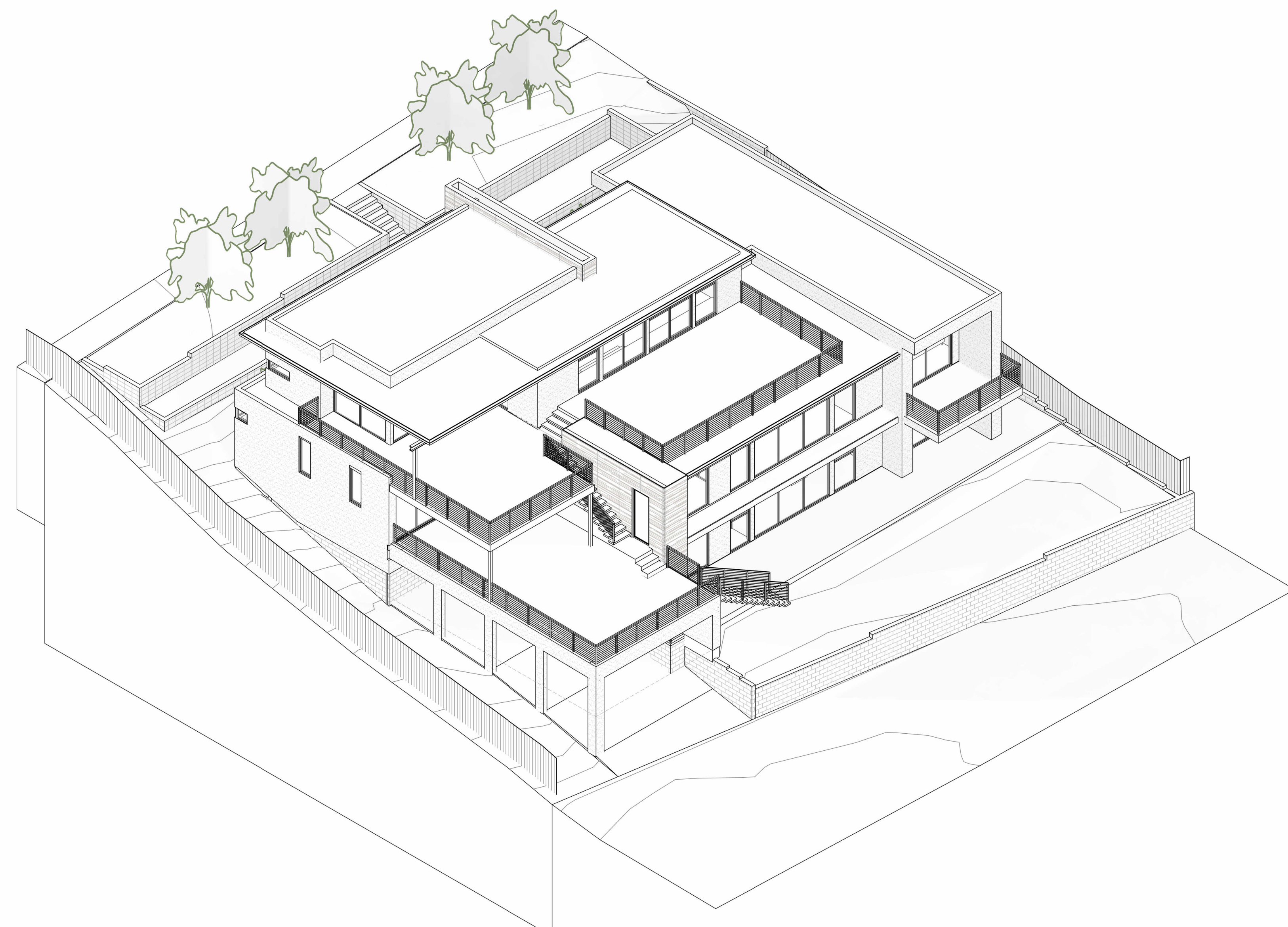
CS-03



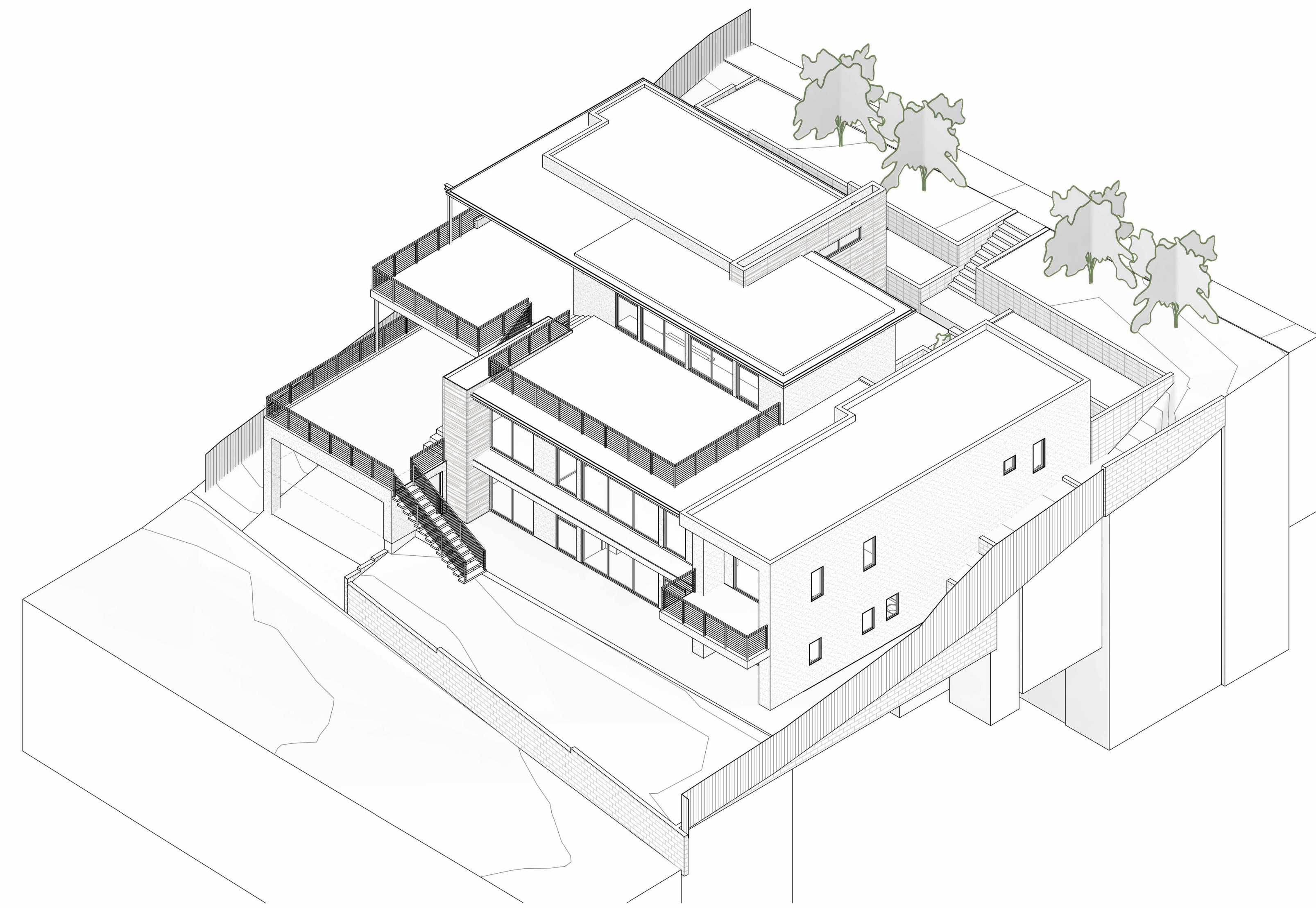
1 Axonometric - NW



2 Axonometric - SW



3 Axonometric - SE



4 Axonometric - NE

Revisions	Description	Date

PROJECT SCOPE

Coastal Development Permit (PRJ-1132081) for the remodel/addition to an existing single-family home. New attached ADU at entry level. New attached carport at lower level. Associated landscape and hardscape improvements

PROJECT DATA

Project Number	PRJ-1132081
Address	827 Rosecrans Street, San Diego, CA 92106
APN	532-322-07-00
Legal Description	MAP 2224 Block No Lot No 28 YACHT CLUB TERRACE MM 36 Block No Lot No PL 177 PUEBLO LANDS OF SAN DIEGO
Base Zone	RS-1-7
Overlay Zones	Coastal Height Limit Overlay Zone (CHLOZ) Coastal Overlay Zone (COZ) Coastal Overlay Zone First Public Roadway (COZFPR) Airport Land Use Compatibility Overlay Zone (ALUCOZ) ALUCP Airport Influence Area (AIA) FAA Part 77 Noticing Area Parking Impact Overlay Zone (PIOZ) Environmentally Sensitive Area (ESA) Transit Priority Area
Geological Hazard Category	53
Gross/Net Lot Size	9,755 sf (after lot consolidation)
Max FAR	0.55 (9,755 x 0.55 = max 5,365 sf)
Proposed FAR	6,048 - 692 = 5,356 sf (692 sf ADU excluded) 5,356 / 9,755 = 0.549
Use	Single Family Home / ADU
Occupancy	R-3
Construction Type	VB
# of Stories	3
Max Structure Height	24' / 30'
Proposed Structure Height	City "plumb line measurement" 29'-8 1/2" (see E-W Section 01) City "overall height measurement" 27'-10" (see South Elevation) Coastal "height of building" 23'-11" (see South Elevation)
Front Setback	15'-0"
Rear Setback	13'-0"
Side Setback	100' x .08 = 8'-0"
Year Built (Original)	1951
Fire Sprinklers	none existing, new system required
Landscape Area	3,377 sf

GROSS BUILDING AREA - EXISTING CONDITIONS		
Area Name	Area	Comments
0 - Lower Level (Crawlspace)	841 SF	
0 - Lower Level (House)	1126 SF	
1 - Entry Level (Garage)	450 SF	
1 - Entry Level (House)	2285 SF	
Grand total	4702 SF	

GROSS BUILDING AREA - PROPOSED CONDITIONS		
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Grand total	6048 SF	

DRAINAGE / GRADING NOTES

See sheets CS-02 and CS-03 for detailed information on drainage and grading scope.

Per City of San Diego Municipal Code Sections 12.0104, 43.010, 129.0104(a)(4), and 142.0220, permits are required to be inspected by City Inspection staff to ensure compliance with issued construction permit. This includes, but not limited to, Stormwater Compliance Inspection Requirements associated with each permit.

Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

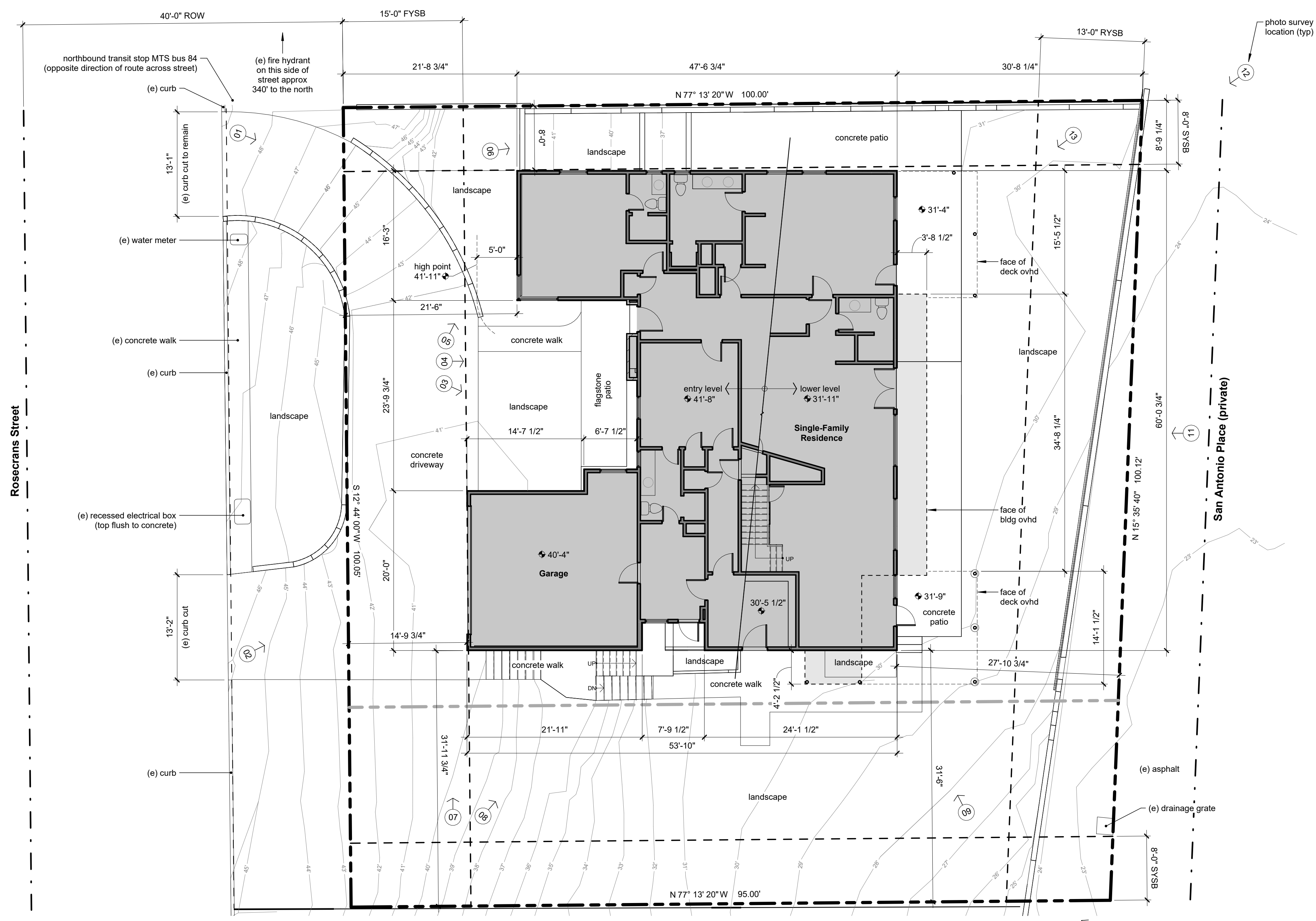
The proposed project will comply with all the requirements of the current City of San Diego Storm Water Standards Manual before a Grading or Building permit is issued. It is the responsibility of the owner/designer/applicant to ensure that the current storm water permanent BMP design standards are incorporated into the project.

Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

STORM WATER QUALITY NOTES - CONSTRUCTION BMP'S

- This project shall comply with all current requirements of the State Permit; California Regional Water Quality Control Board (SDRWQCB), San Diego Municipal Storm Water Permit. The City of San Diego Land Development Code, and the Storm Water Standards Manual.
- Notes below represent key minimum requirements for construction BMP's.
- All requirements of the City of San Diego "Storm Water Standards Manual" must be incorporated into the design and construction of the proposed grading/improvements consistent with the approved Storm Water Pollution Prevention Plan (SWPPP) and/or Water Pollution Control Plan (WPCP) for construction level BMP's and, if applicable, the Storm Water Quality Management Plan (SWQMP) for post-construction BMP's.
 - The contractor shall install and maintain all storm drain inlet protection, inlet protection in the public right-of-way must be temporarily removed prior to a rain event to ensure no flooding occurs and reinstalled after rain is over.
 - All construction BMP's shall be installed and properly maintained throughout the duration of construction.
 - The contractor shall only grade, including clearing and grubbing, areas for which the contractor or qualified contact person can provide erosion and sediment control measures.
 - The contractor is responsible for ensuring that all sub-contractors and suppliers are aware of all storm water BMP's and implement such measures. Failure to comply with the approved SWPPP/WPCP will result in the issuance of correction notices, citations, civil penalties, and/or stop work notices.
 - The contractor or qualified contact person shall be responsible for cleanup of all silt, debris, and mud on affected and adjacent street(s) and within storm drain system due to construction vehicles/equipment and construction activity at the end of each work day.
 - The contractor shall protect new and existing storm water conveyance systems from sedimentation, concrete rinse, or other construction-related debris and discharges with the appropriate BMP's that are acceptable to the resident engineer and as indicated in the SWPPP/WPCP.
 - The contractor or qualified contact person shall clear debris, silt, and mud from all ditches and swales prior to and within 3 business days after each rain event or prior to the next rain event, whichever is sooner.
 - If a non-storm water discharge leaves the site, the contractor shall immediately stop the activity and repair the damages. The contractor shall notify the resident engineer of the discharge, prior to resuming construction activity. Any and all waste material, sediment, and debris from all non-storm water discharge shall be removed from the storm drain conveyance system and properly disposed of by the contractor.
 - Equipment and workers for emergency work shall be made available at all times. All necessary materials shall be stockpiled onsite at convenient locations to facilitate rapid deployment of construction BMP's when rain is imminent.
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 - The contractor or qualified contact person shall conduct visual inspections and maintain all BMP's daily and as needed. Visual inspections and maintenance of all BMP's shall be conducted before, during, and after every rain event and every 24 hours during any prolonged rain event. The contractor shall maintain and repair all BMP's as soon as possible as safety allows.
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 - (a) non-storm water discharges shall be effectively managed per the San Diego municipal code chapter 4, article 3, division 3 "Storm Water Management and Discharge Control".

Updated July 2018



1 Site Plan - Existing
1/8" = 1'-0"

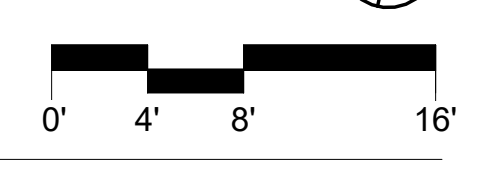
Lomas Residence + ADU
827 Rosecrans Street, San Diego, CA 92106



Project number	24017
Purpose	CDP submittal 2
Export Date	7/11/2025 9:24:04 PM
Revisions	

Existing Site Plan, Calculations

A002



PROJECT SCOPE

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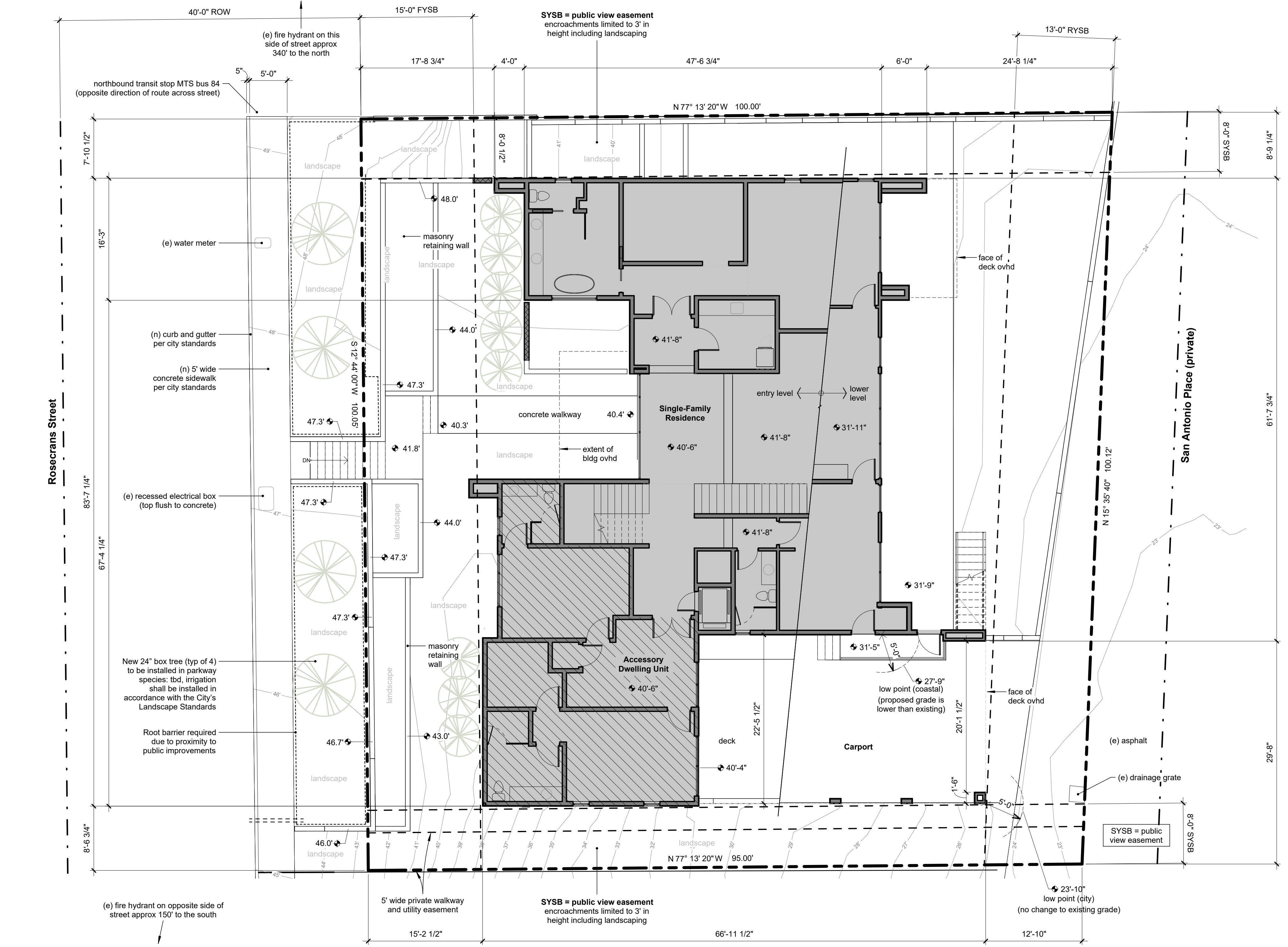
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Updated July 2018



1 Site Plan - New
1/8" = 1'-0"

Lomas Residence + ADU
827 Rosecrans Street, San Diego, CA 92106



Project number	24017
Purpose	CDP submittal 2
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Revisions	

New Site Plan, Calculations

A003

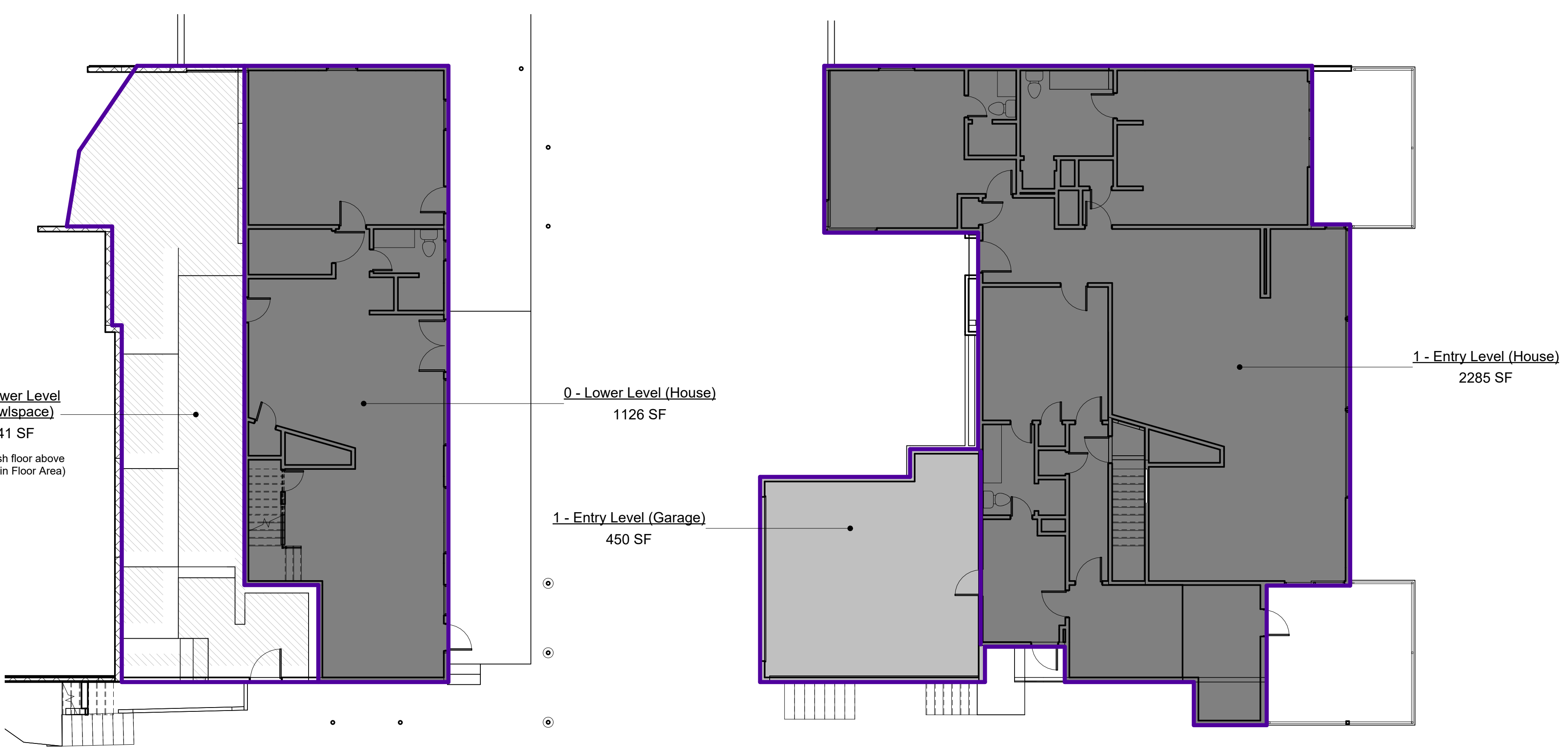


PROJECT SCOPE

Coastal Development Permit (PRJ-1132081) for the remodel/addition to an existing single-family home. New attached ADU at entry level. New attached carport at lower level. Associated landscape and hardscape improvements

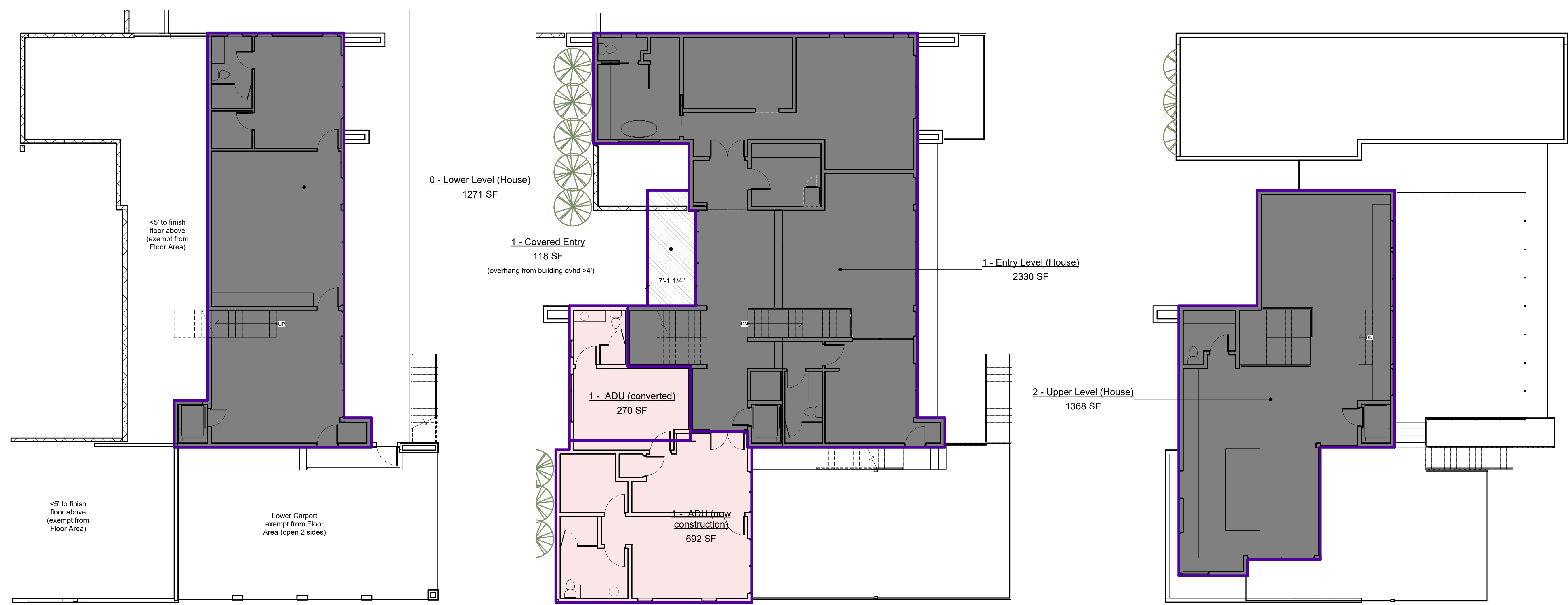
PROJECT DATA

Project Number PRJ-1132081
Address 827 Rosecrans Street, San Diego, CA 92106
APN 532-322-07-00
Legal Description MAP 2224 Block No Lot No 28 YACHT CLUB TERRACE
 MM 36 Block No Lot No PL 177 PUEBLO LANDS OF SAN DIEGO
Base Zone RS-1-7
Overlay Zones Coastal Height Limit Overlay Zone (CHLOZ) Coastal Overlay Zone (COZ) Coastal Overlay Zone First Public Roadway (COZFPR) Airport Land Use Compatibility Overlay Zone (ALUCOZ) ALUCP Airport Influence Area (AIA) FAA Part 77 Noticing Area Parking Impact Overlay Zone (PIOZ) Environmentally Sensitive Area (ESA) Transit Priority Area
Geological Hazard Category 53
Gross/Net Lot Size 9,755 sf (after lot consolidation)
Max FAR 0.55 (9,755 x 0.55 = max 5,365 sf)
Proposed FAR 6,048 - 692 = 5,356 sf (692 sf ADU excluded) 5,356 / 9,755 = 0.549
Use Single Family Home / ADU
Occupancy R-3
Construction Type VB
of Stories 3
Max Structure Height 24' / 30'
Proposed Structure Height City "plumb line measurement" 29'-8 1/2" (see E-W Section 01) City "overall height measurement" 27'-10" (see South Elevation) Coastal "height of building" 23'-11" (see South Elevation)
Front Setback 15'-0"
Rear Setback 13'-0"
Side Setback 100' x .08 = 8'-0"
Year Built (Original) 1951
Fire Sprinklers none existing, new system required
Landscape Area 3,377 sf



1 Area Plan - 0 Lower Level EXISTING
1/8" = 1'-0"

2 Area Plan - 1 Entry Level EXISTING
1/8" = 1'-0"



3 Area Plan - 0 Lower Level NEW
1/8" = 1'-0"

4 Area Plan - 1 Entry Level NEW
1/8" = 1'-0"

5 Area Plan - 2 Upper Level NEW
1/8" = 1'-0"

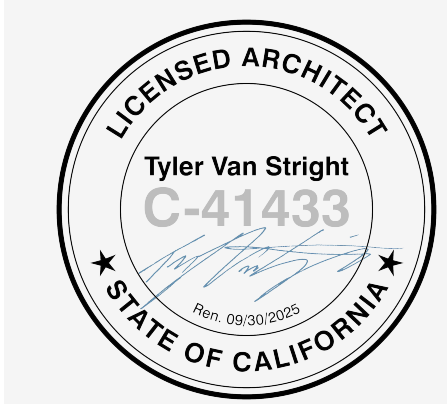
GROSS BUILDING AREA - EXISTING CONDITIONS		
Area Name	Area	Comments
0 - Lower Level (Crawlspace)	841 SF	
0 - Lower Level (House)	1126 SF	
1 - Entry Level (Garage)	450 SF	
1 - Entry Level (House)	2285 SF	
Grand total	4702 SF	

GROSS BUILDING AREA - PROPOSED CONDITIONS		
Area Name	Area	Comments
0 - Lower Level (House)	1271 SF	
1 - ADU (converted)	270 SF	
1 - ADU (new construction)	692 SF	
1 - Covered Entry	118 SF	
1 - Entry Level (House)	2330 SF	
2 - Upper Level (House)	1368 SF	
Grand total	6048 SF	

DRAINAGE / GRADING NOTES

See sheets CS-02 and CS-03 for detailed information on drainage and grading scope.
 Per City of San Diego Municipal Code Sections 12.0104, 43.010, 129.0104(a)(4), and 142.0220, permits are required to be inspected by City Inspection staff to ensure compliance with issued construction permit. This includes, but not limited to, Stormwater Compliance Inspection Requirements associated with each permit.
 Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
 The proposed project will comply with all the requirements of the current City of San Diego Storm Water Standards Manual before a Grading or Building permit is issued. It is the responsibility of the owner/designer/applicant to ensure that the current storm water permanent BMP design standards are incorporated into the project.
 Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

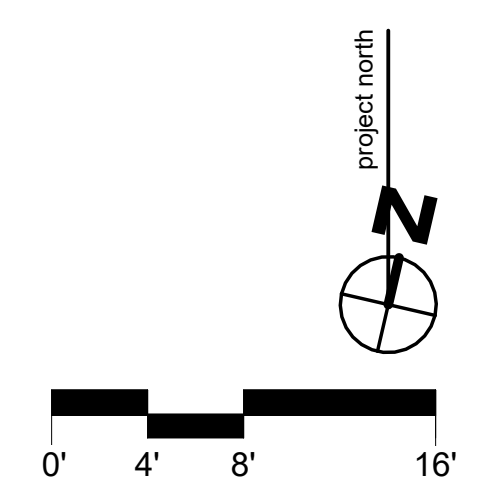
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827 Rosecrans Street, San Diego, CA 92106

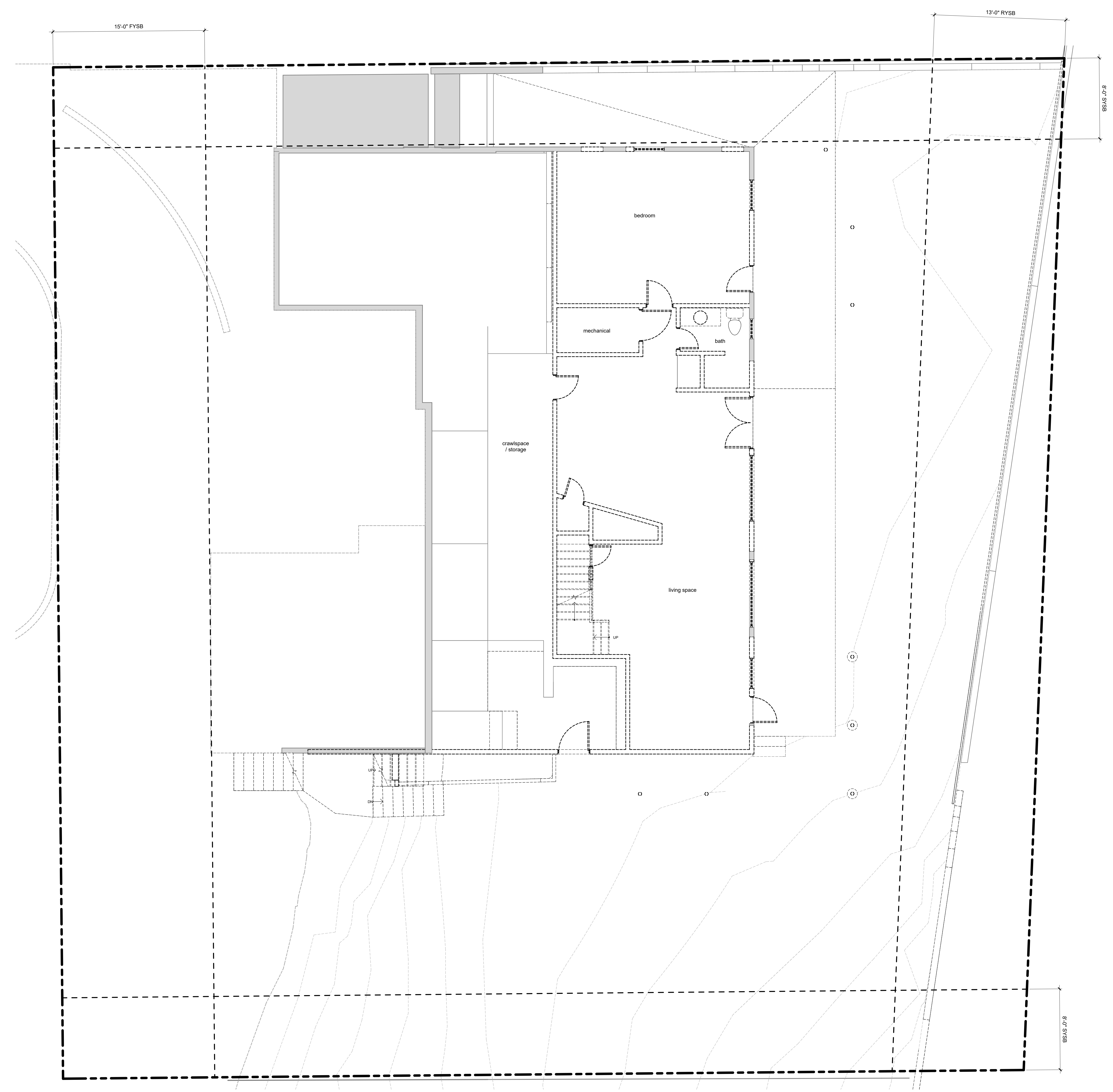


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Revisions	Description	Date

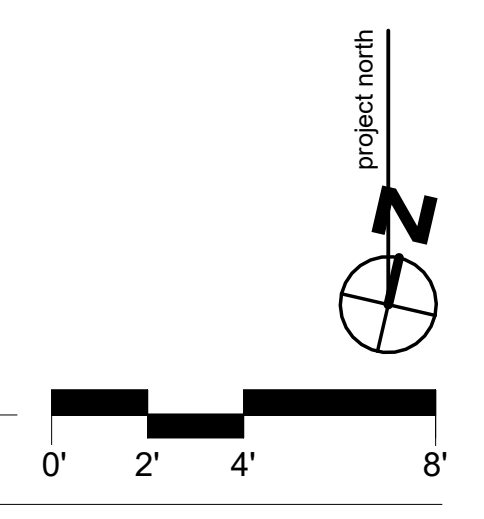




WALL TYPE LEGEND

- existing walls to remain
- existing walls to be demolished
- new walls
note: hatch patterns and width will vary based on specific wall type

1 0 - Lower Level Plan - Demo
1/4" = 1'-0"



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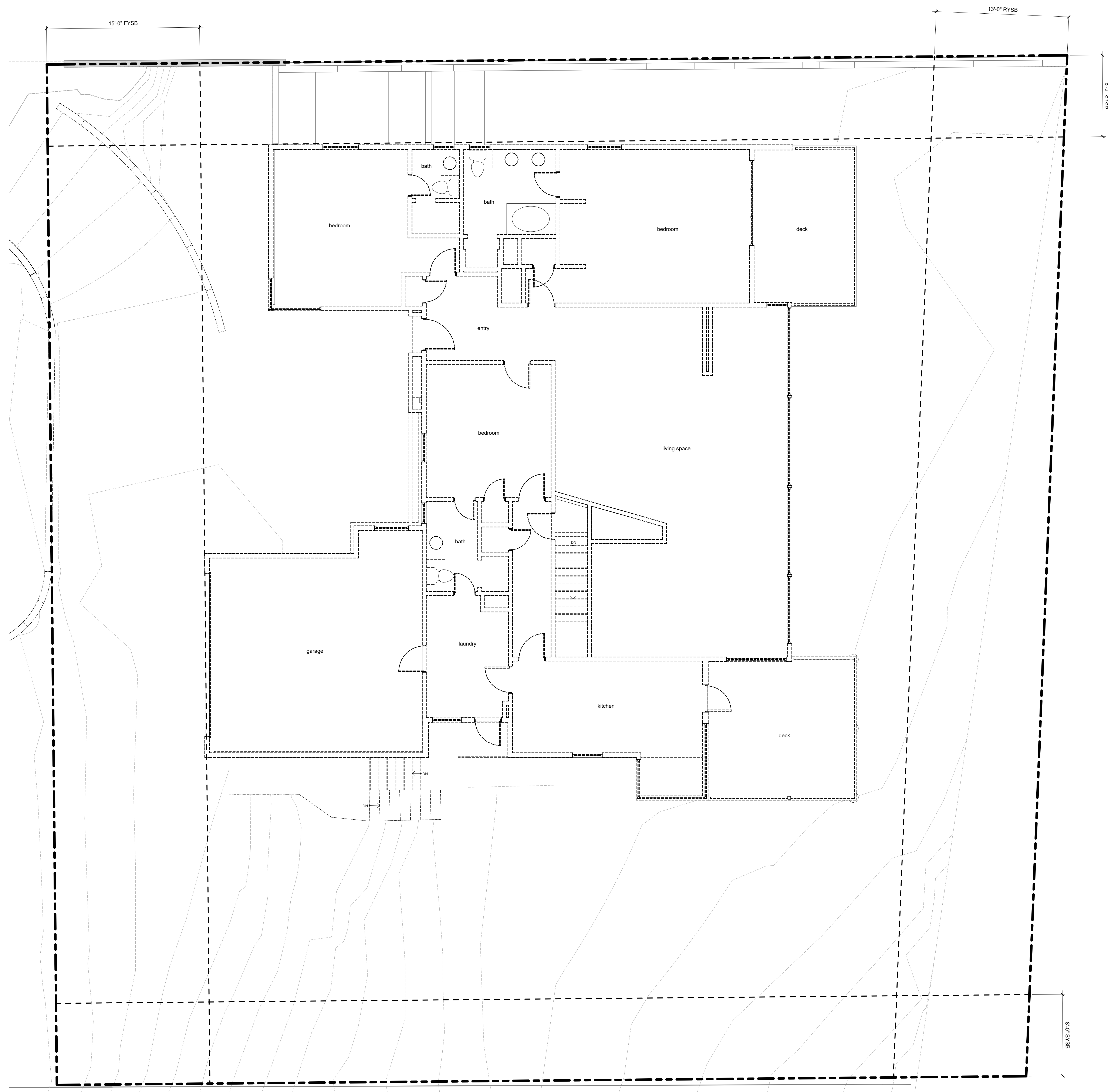
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Revisions

#	Description	Date

Demo Plans

A101

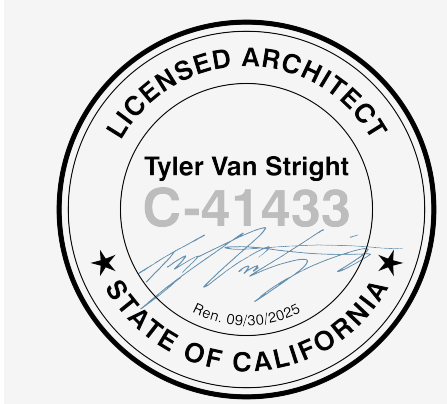


WALL TYPE LEGEND

- existing walls to remain
- existing walls to be demolished
- new walls
 note: hatch patterns and width will vary based on specific wall type

1 1 - Entry Level Plan - Demo
 1/4" = 1'-0"

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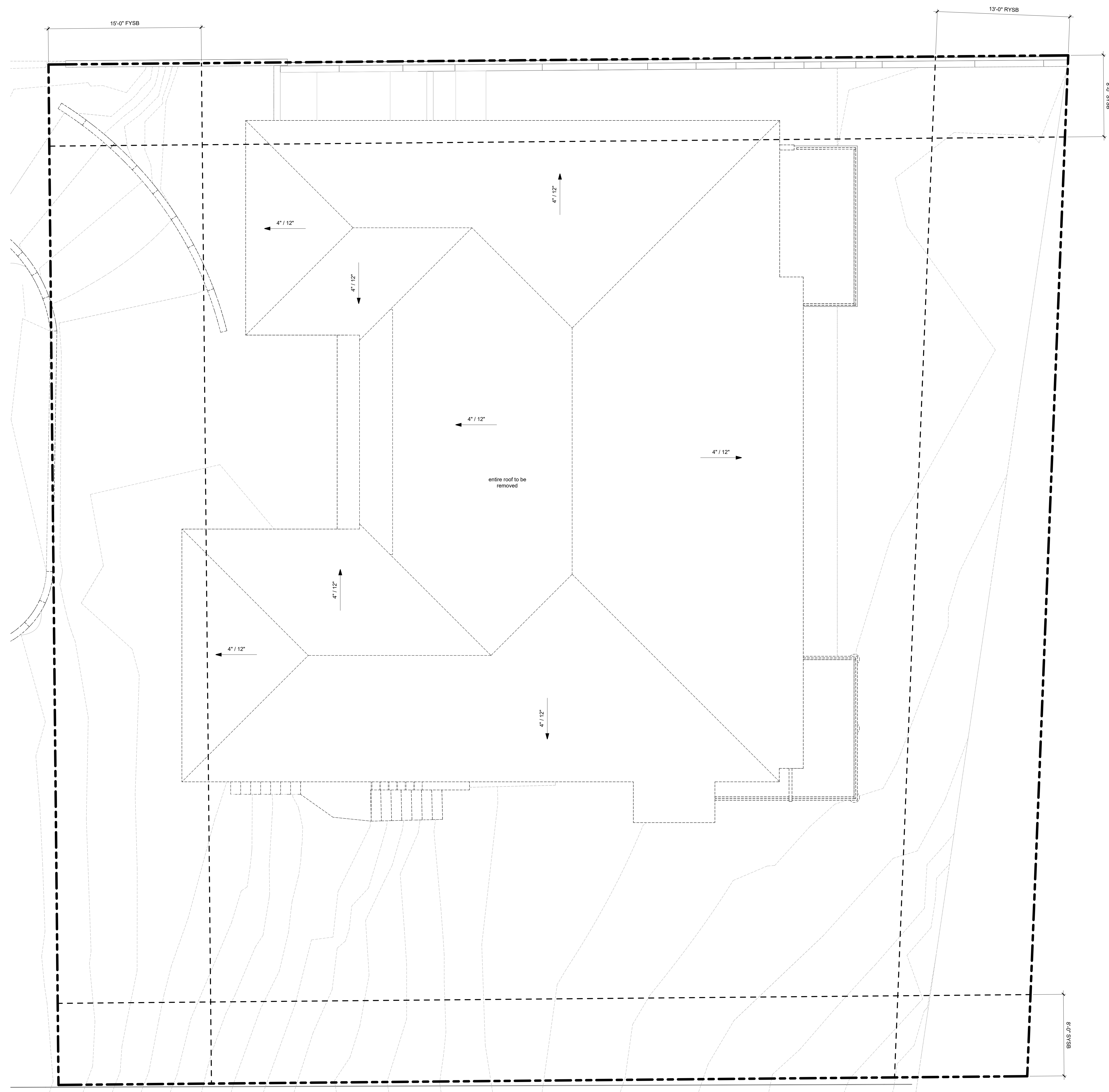
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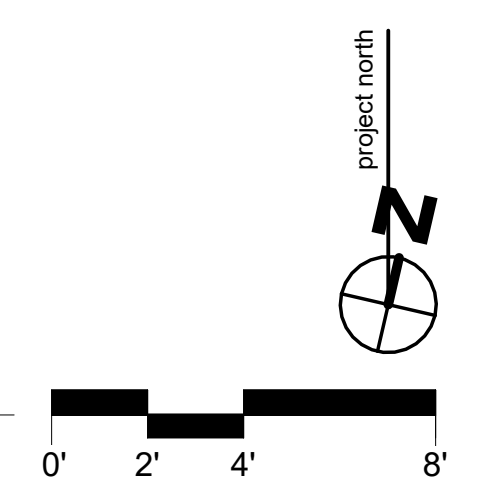
Demo Plans



WALL TYPE LEGEND

- existing walls to remain
- existing walls to be demolished
- new walls
note: hatch patterns and width will vary based on specific wall type

1 2 - Roof Plan - Demo
1/4" = 1'-0"



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Revisions

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Demo Plans

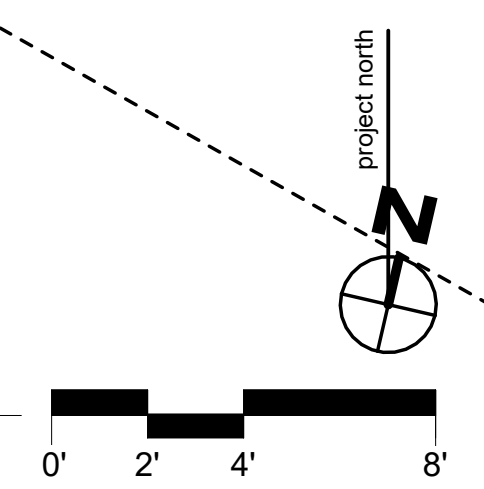
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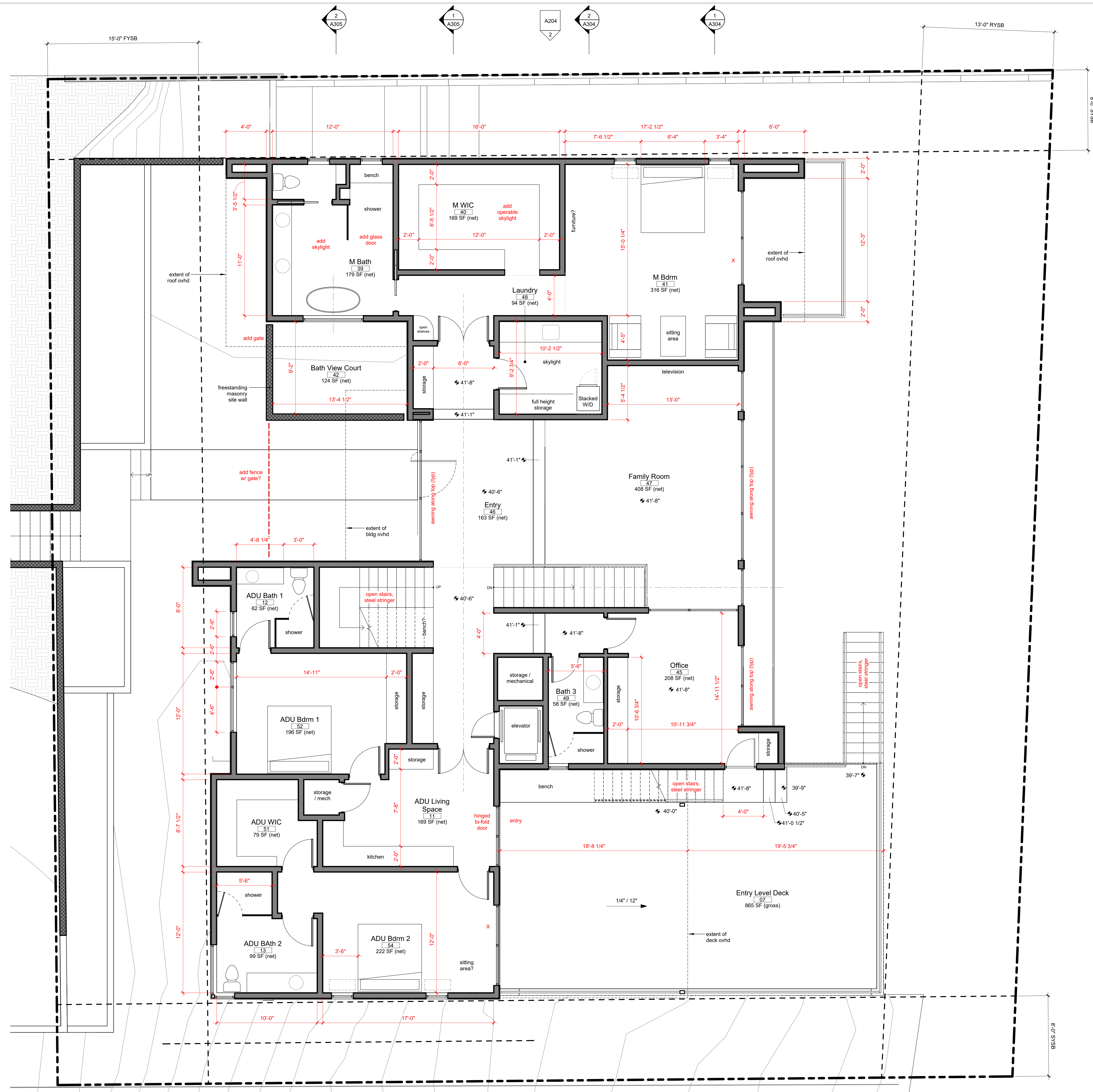


WALL TYPE LEGEND

- existing walls to remain
- existing walls to be demolished
- new walls
note: hatch patterns and width will vary based on specific wall type

1 0 - Lower Level Plan - New
1/4" = 1'-0"

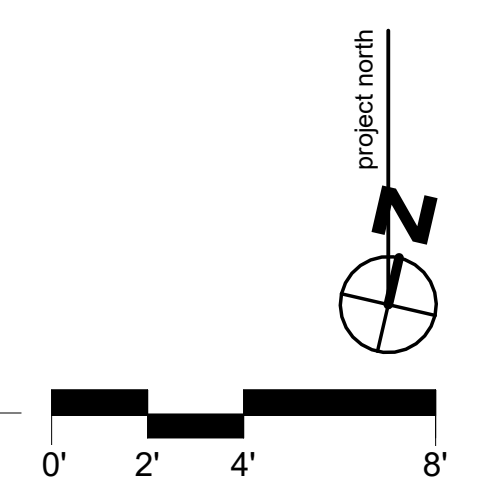


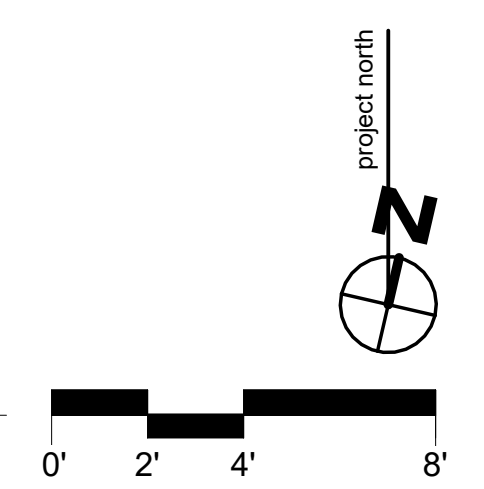
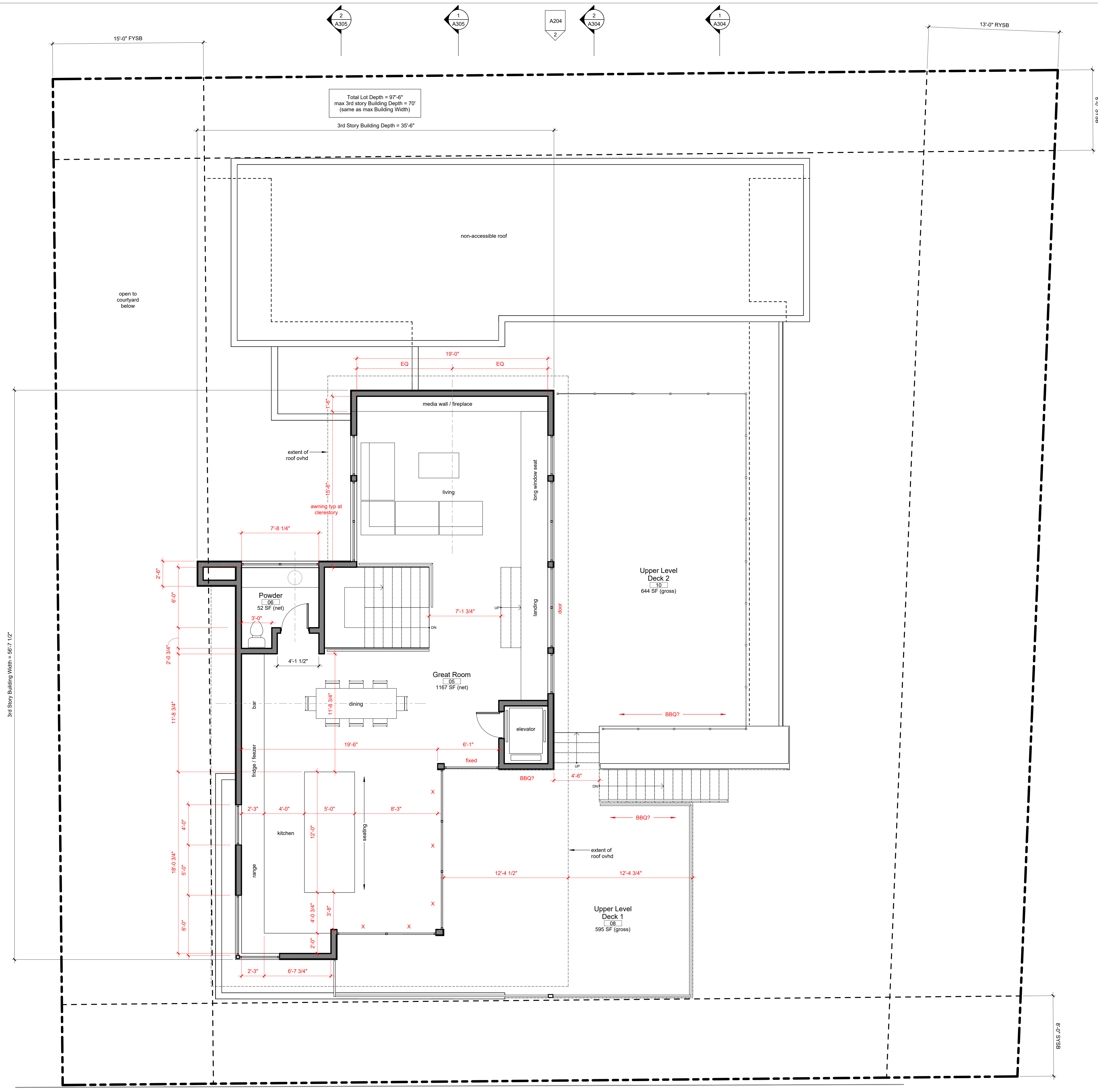


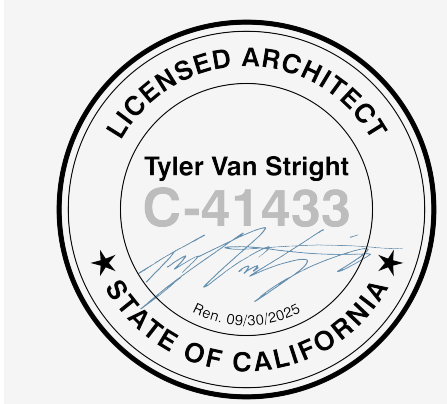
WALL TYPE LEGEND

- existing walls to remain
- existing walls to be demolished
- new walls
note: hatch patterns and width will vary based on specific wall type

1 - Entry Level Plan - New
1/4" = 1'-0"







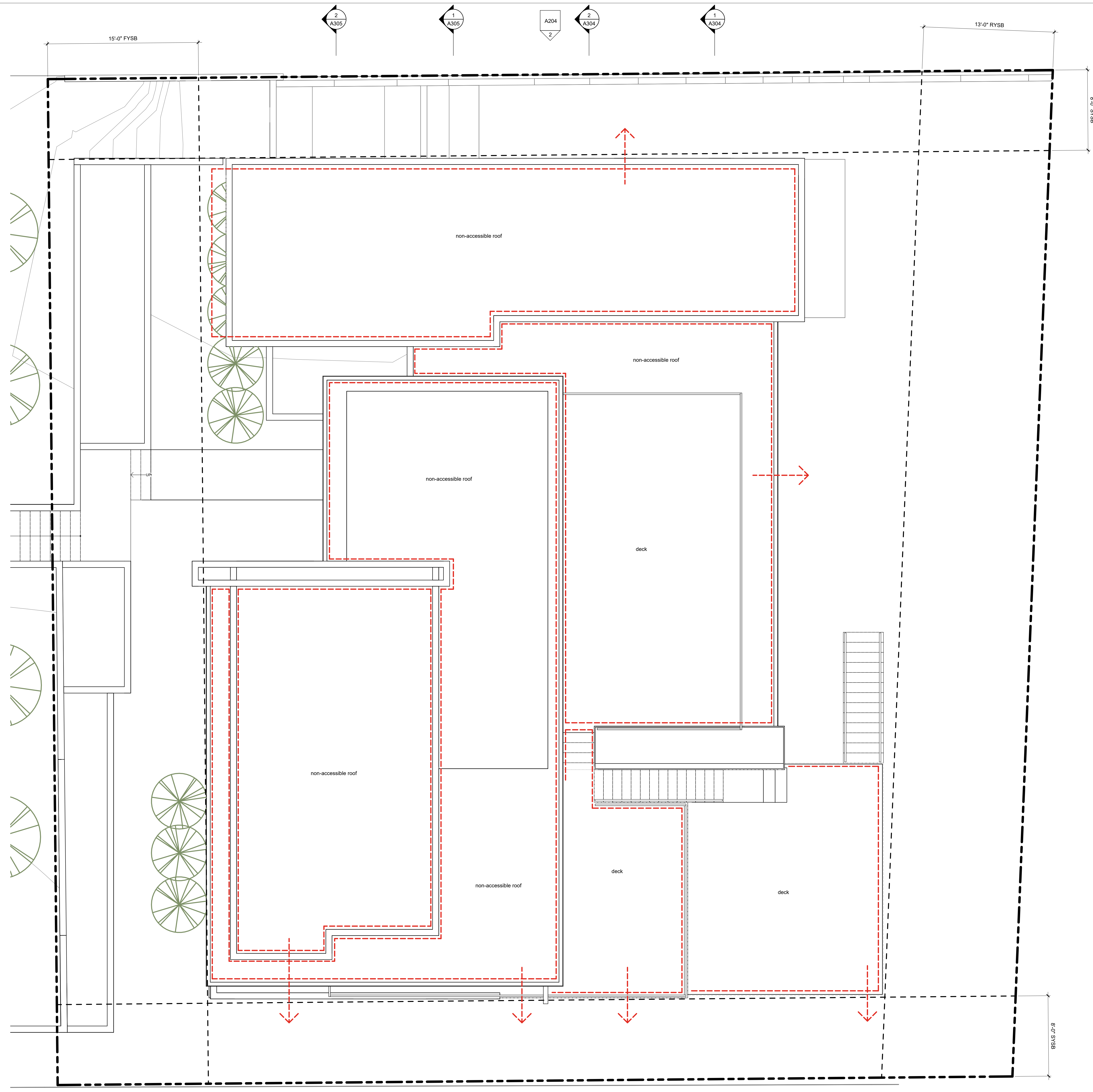
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Revisions	Description	Date

New Plans

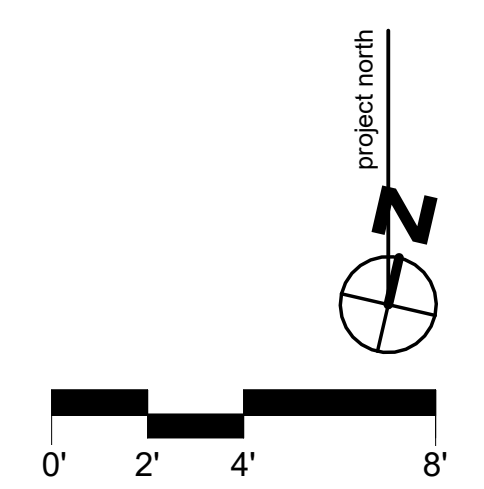
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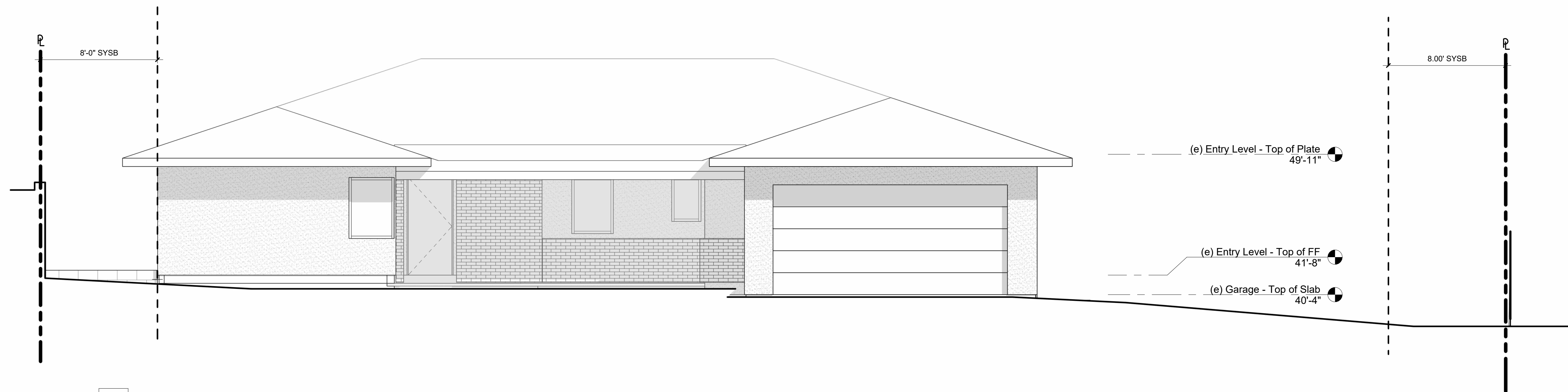


WALL TYPE LEGEND

- existing walls to remain
- existing walls to be demolished
- new walls
note: hatch patterns and width will vary based on specific wall type

1 3 - Roof Plan - New
1/4" = 1'-0"





1 West Elevation - Existing

1/4" = 1'-0"



2 West Elevation - New

1/4" = 1'-0"



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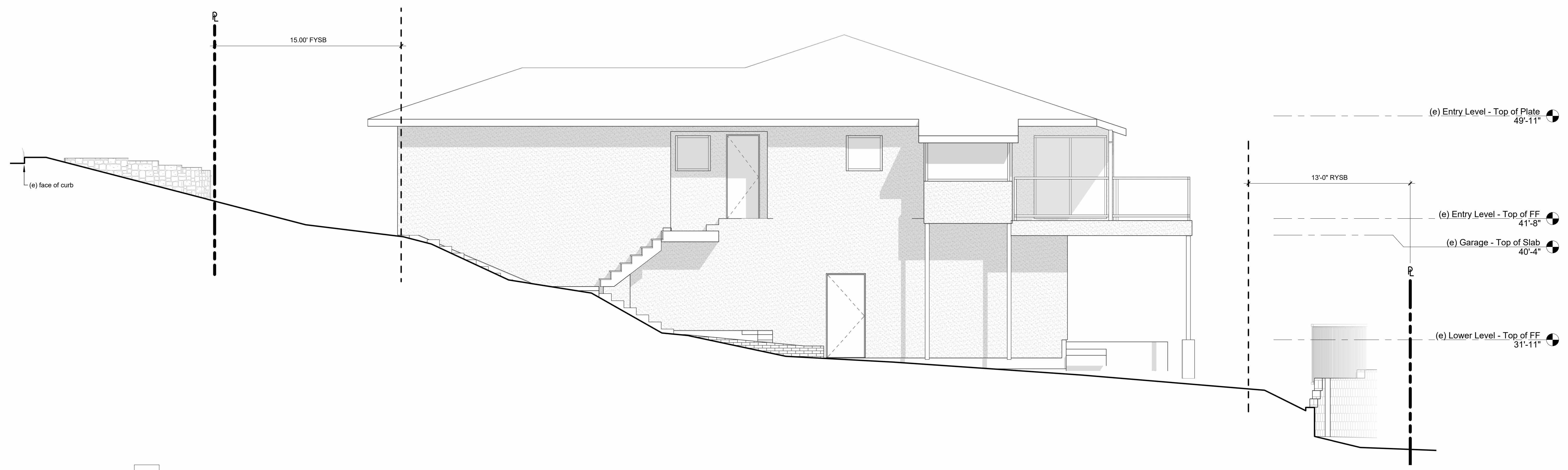
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Revisions	
#	Description

Elevations

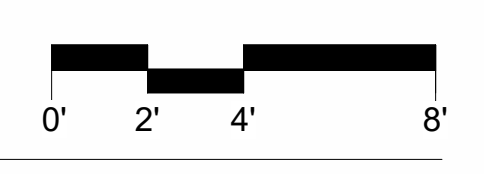
A201



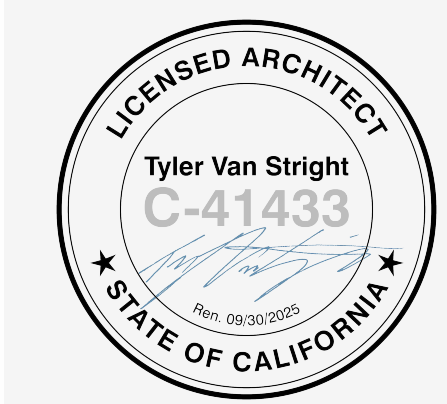
1 South Elevation - Existing
1/4" = 1'-0"



2 South Elevation - New
1/4" = 1'-0"



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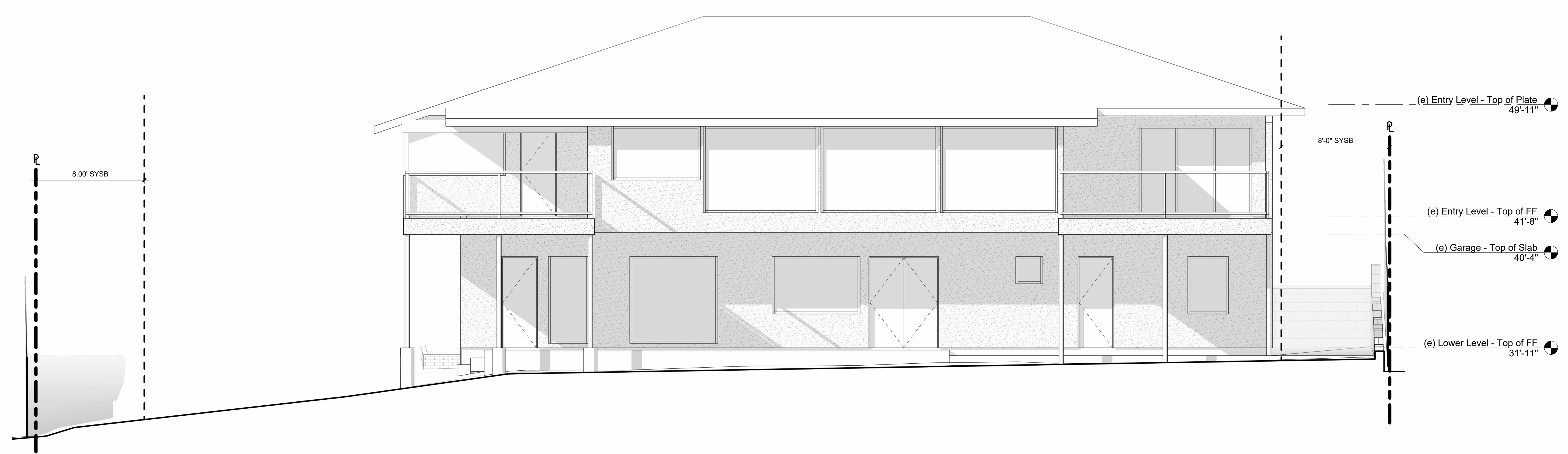
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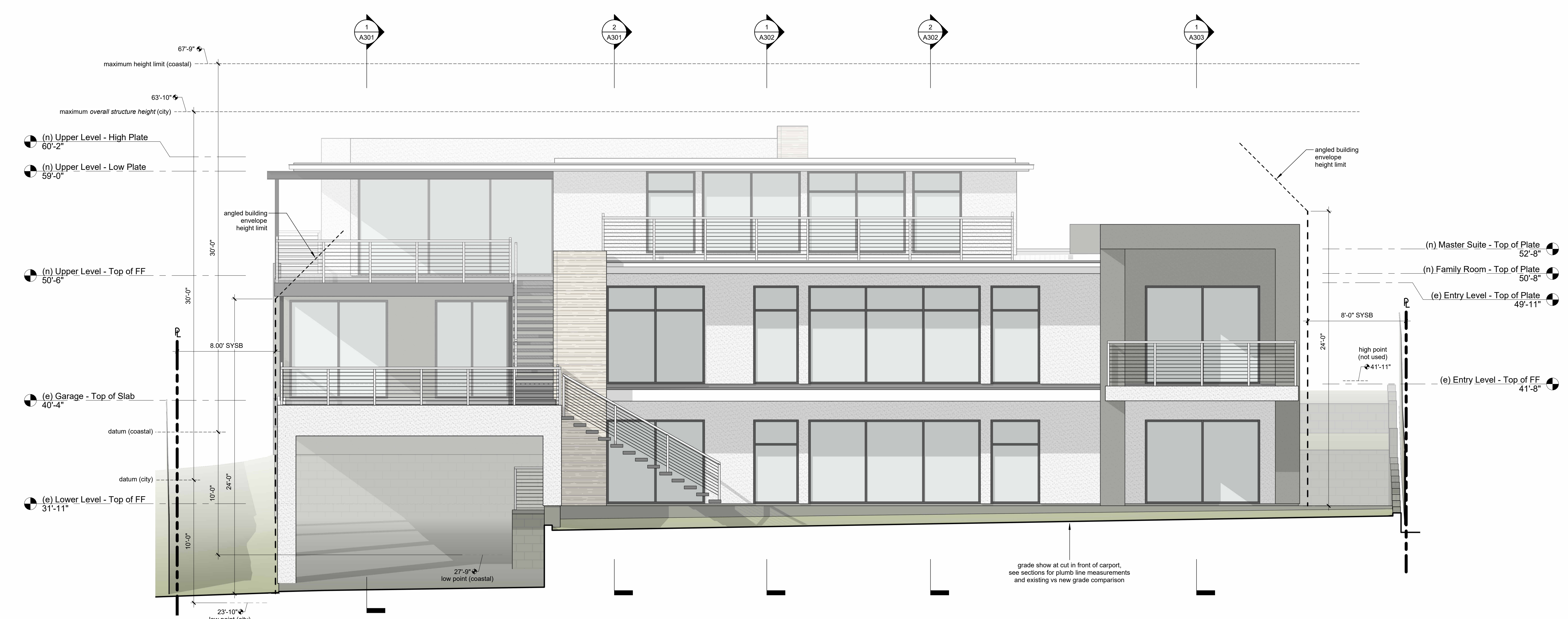
Revision	Description	Date

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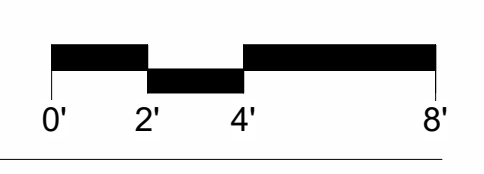
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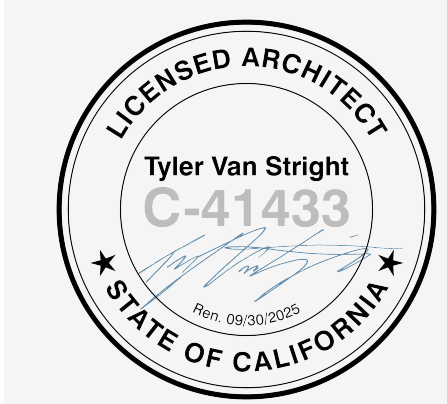
1 East Elevation - Existing
1/4" = 1'-0"



2 East Elevation - New
1/4" = 1'-0"



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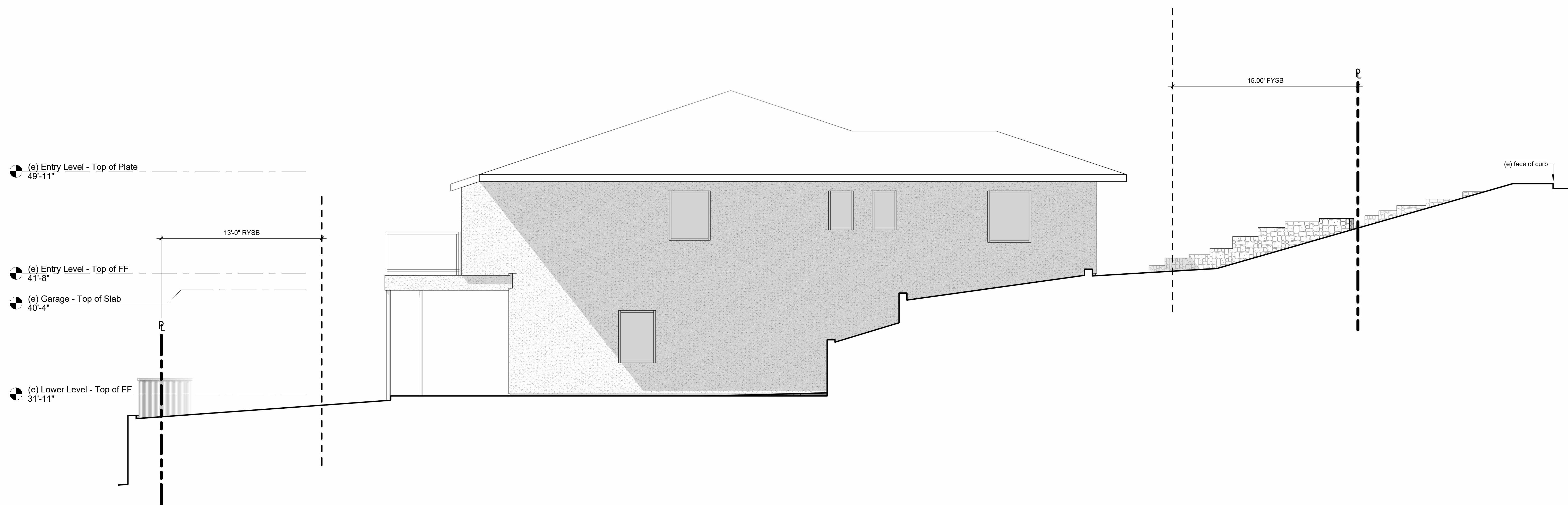
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Revisions	Description	Date

Elevations

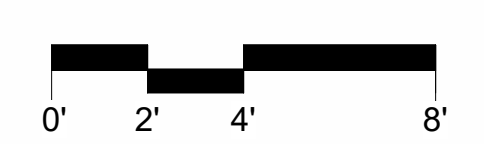
A203



1 North Elevation - Existing
1/4" = 1'-0"



2 North Elevation - New
1/4" = 1'-0"



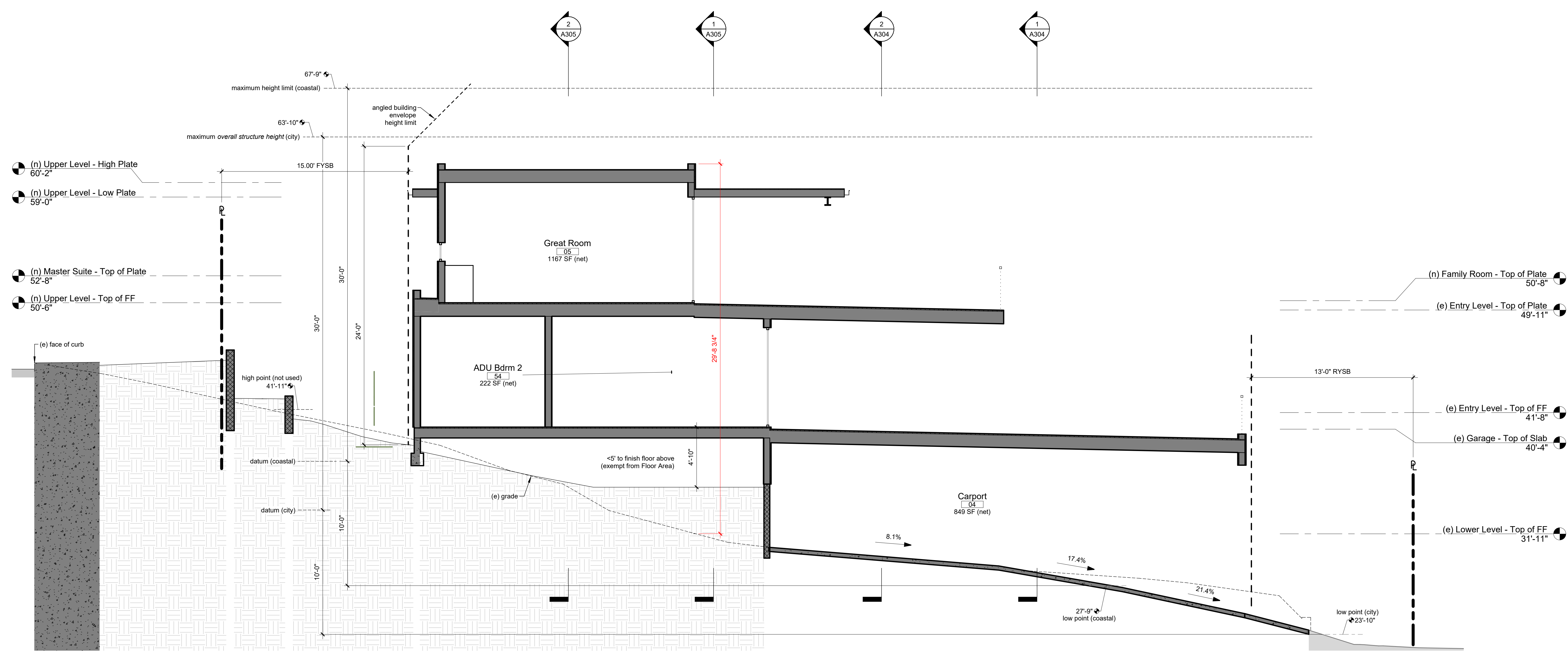
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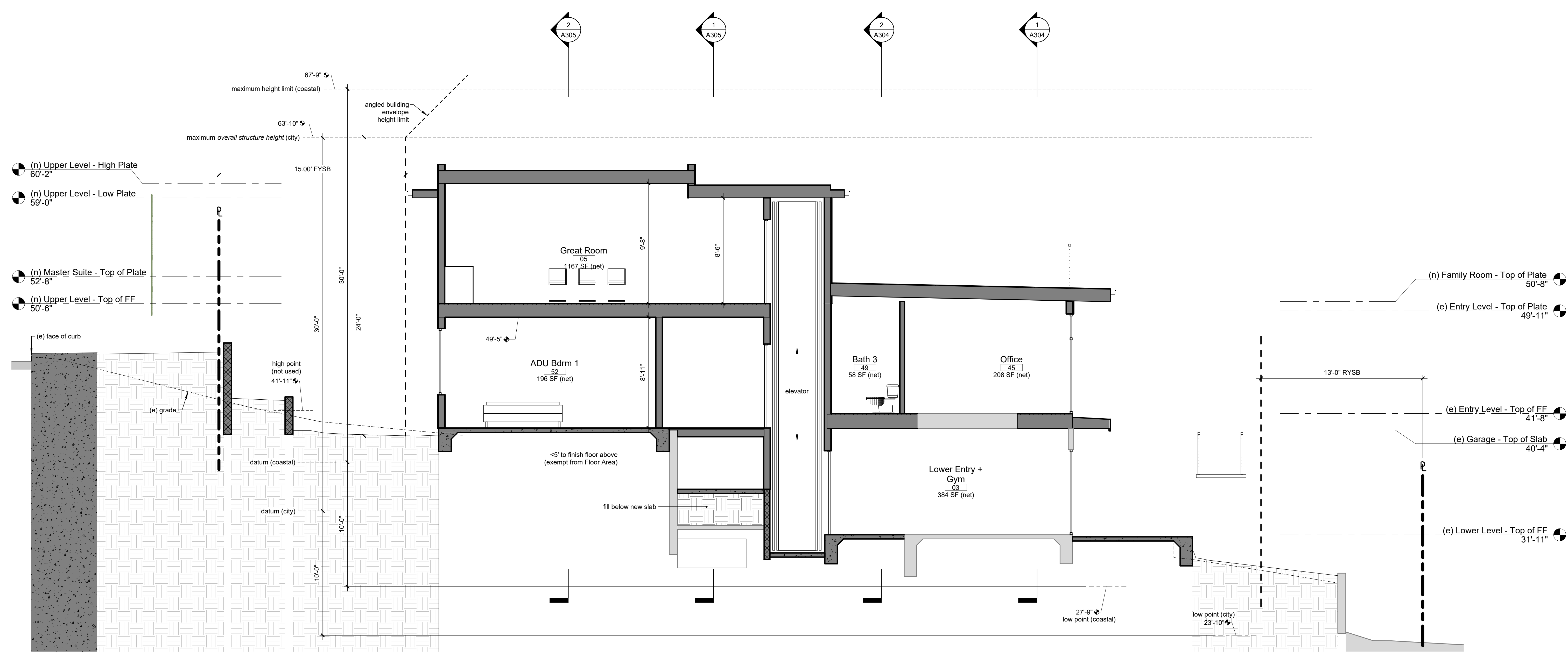
Revisions

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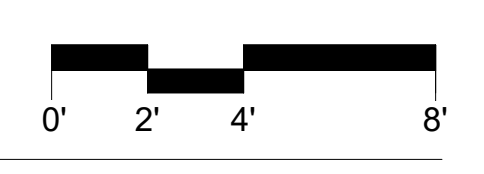
Elevations



1 E-W Section 01
1/4" = 1'-0"



2 E-W Section 02
1/4" = 1'-0"

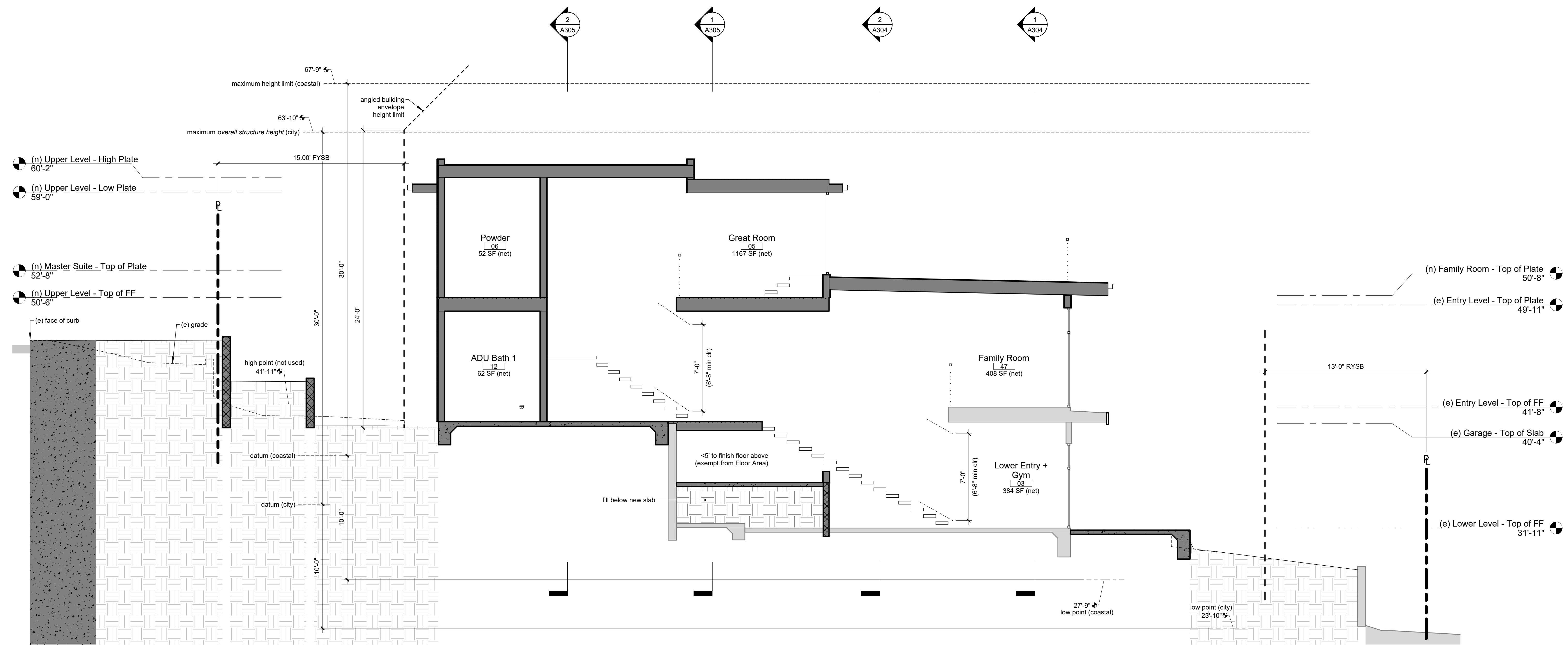


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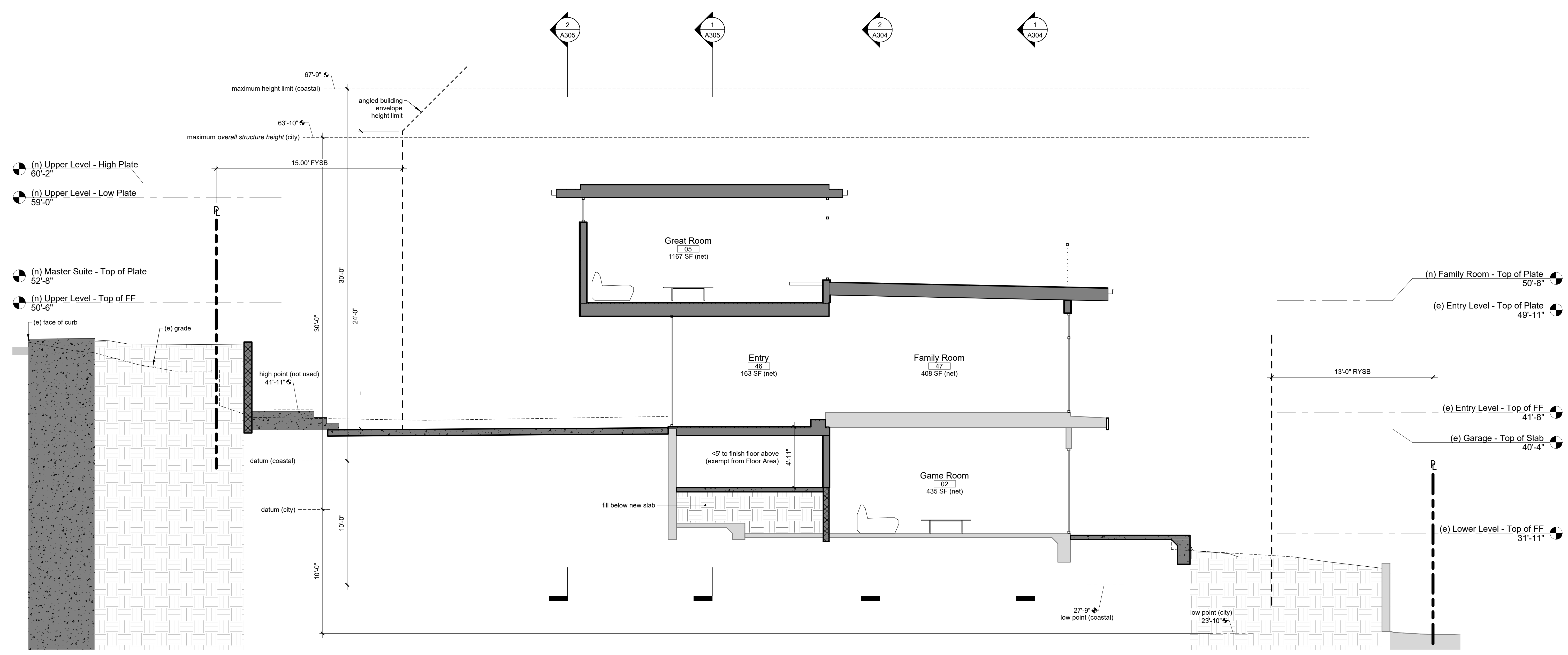
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Revisions	Description	Date

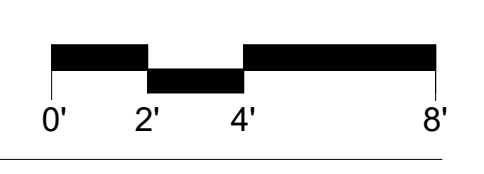
Sections



1 E-W Section 03
 1/4" = 1'-0"



2 E-W Section 04
 1/4" = 1'-0"



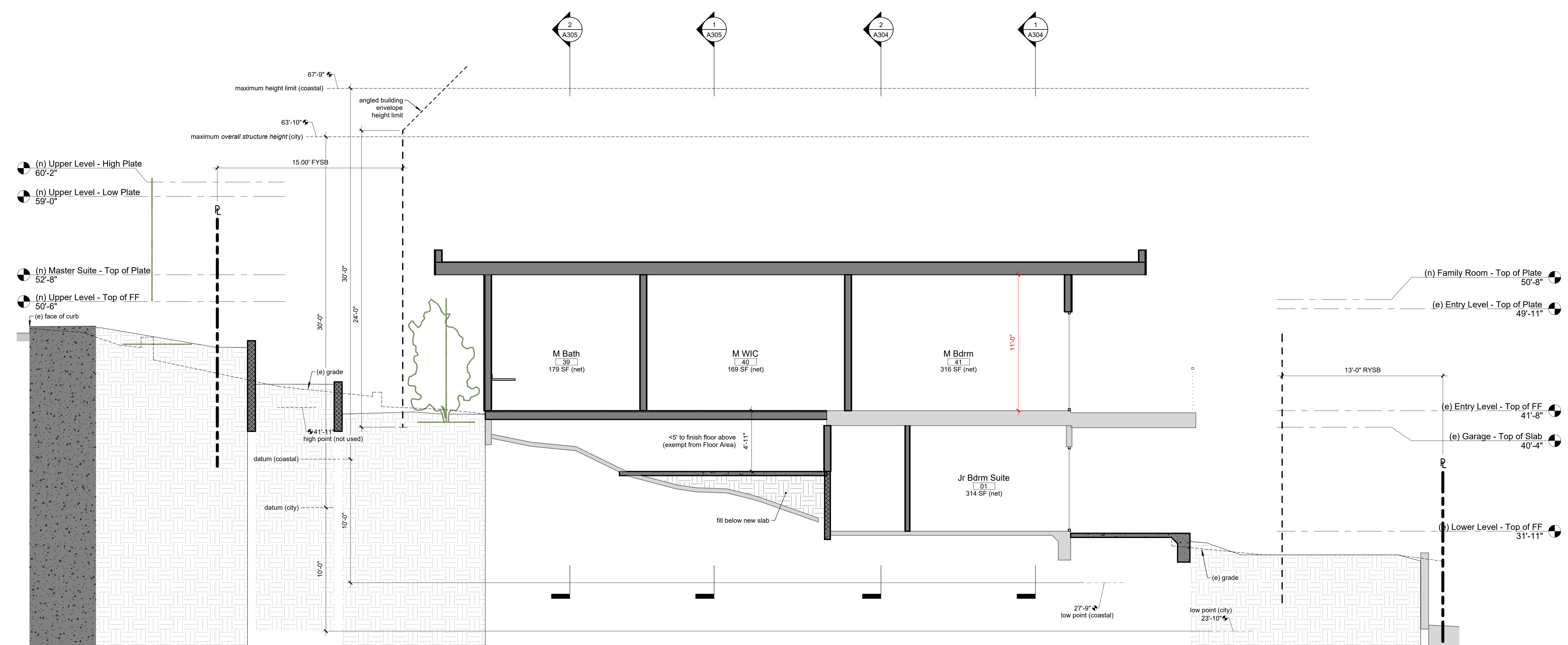
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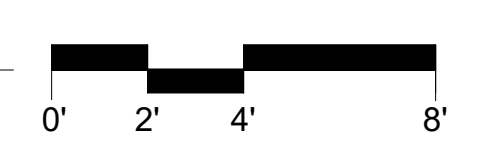
Revisions

Revision	Description	Date

Sections



1 E-W Section 05
 1/4" = 1'-0"



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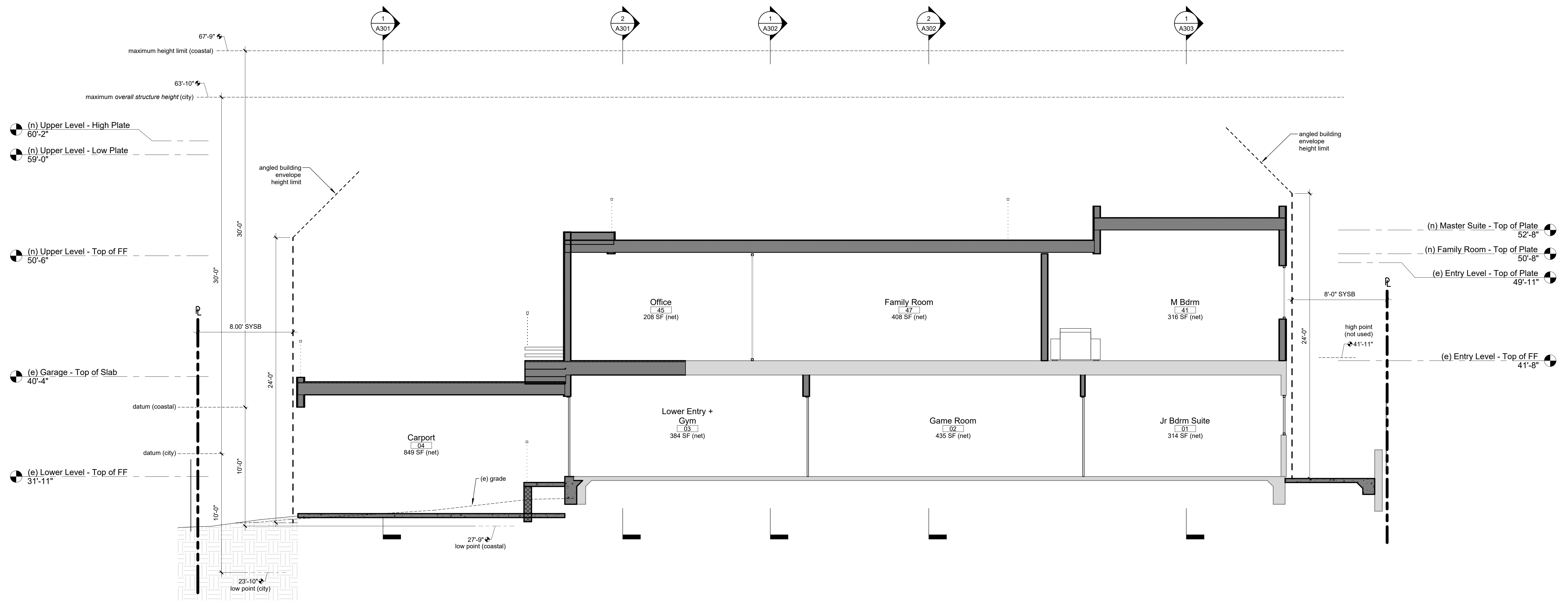
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Revisions

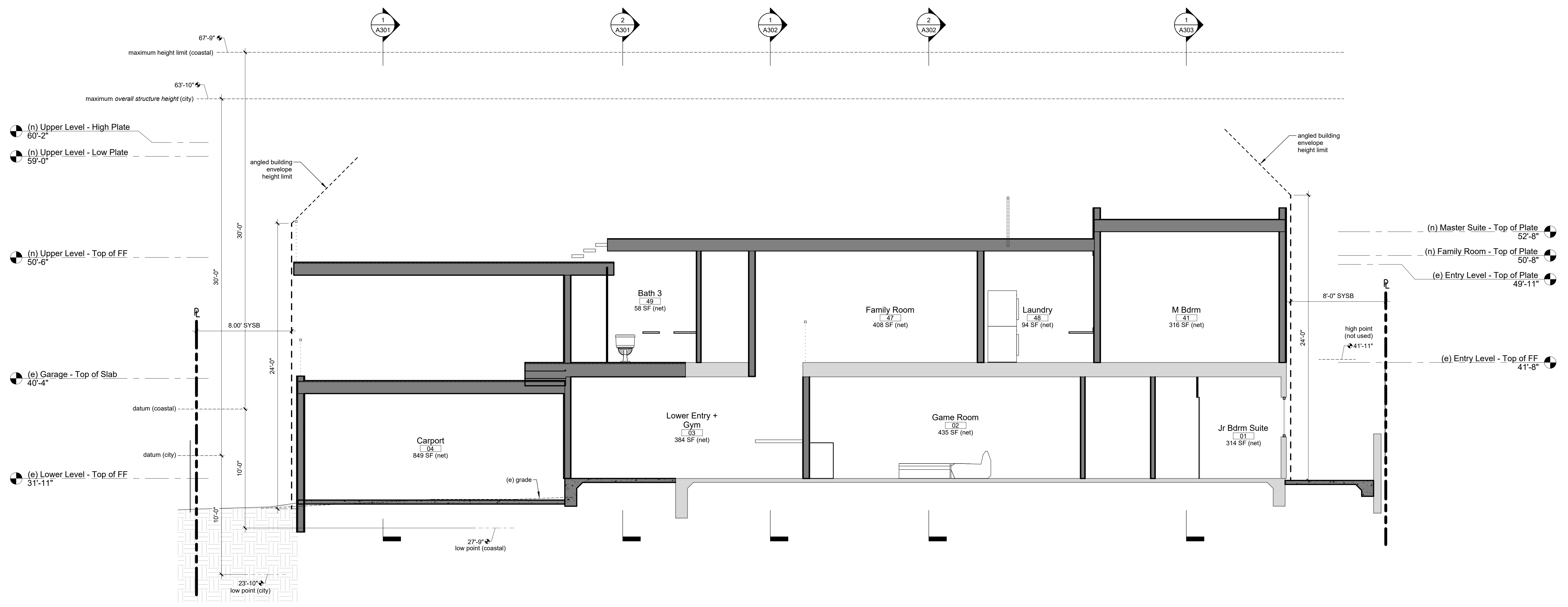
Revision	Description	Date

Sections

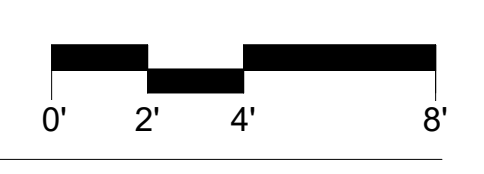
A303



1 N-S Section 01
1/4" = 1'-0"



2 N-S Section 02
1/4" = 1'-0"



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Revisions	Description	Date

Sections

A304

